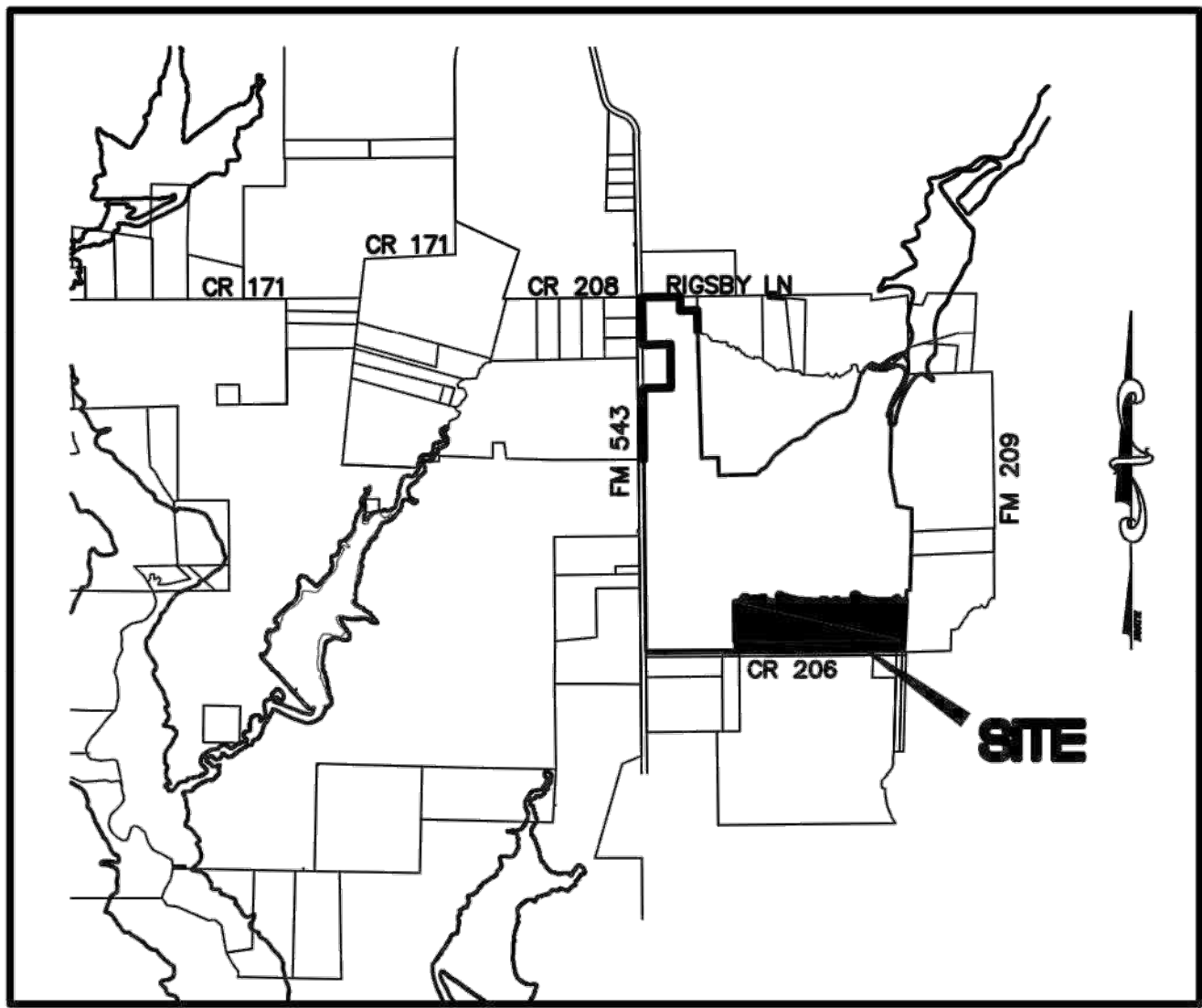


MASS GRADING
PLANS FOR THE CONSTRUCTION OF
VENETIAN AT WESTON, PHASE 1
EAST FORK FRESH WATER SUPPLY
DISTRICT NO. 1A, COLLIN COUNTY, TEXAS



LOCATION MAP
SCALE : N.T.S.



SHEET INDEX

SHEET NO.	SHEET TITLE
1.01	FINAL PLAT
1.02	FINAL PLAT
2.01	GRADING PLAN
2.02	GRADING PLAN
2.03	GRADING PLAN
2.04	OFFSITE GRADING
2.05	POND GRADING
2.06	GRADING DETAILS
3.01	EROSION CONTROL PLAN
3.02	EROSION CONTROL DETAILS

OWNER
HONEYCREEK VENETIAN, LLC
520 CENTRAL PARKWAY EAST, #104
PLANO, TX 75093
(972)422-9880

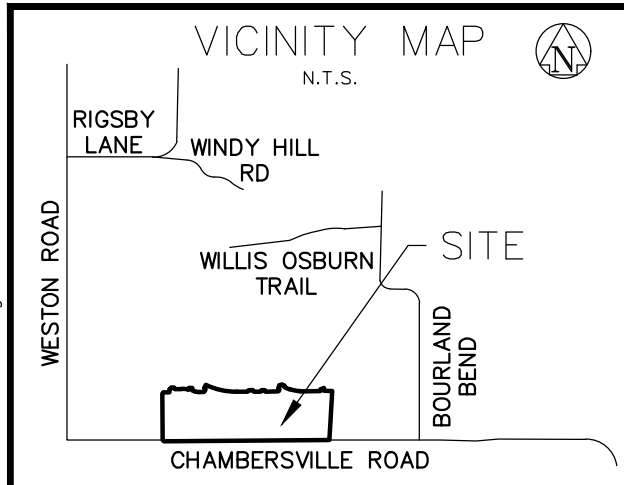
DEVELOPER
HONEYCREEK VENETIAN, LLC
520 CENTRAL PARKWAY EAST, #104
PLANO, TX 75093
(972)422-9880



PELOTON LAND SOLUTIONS
TEXAS FIRM NO. 12207
THE SEAL APPEARING ON THIS DOCUMENT WAS
AUTHORIZED BY JAY W. REISSIG, P.E. #94971
ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER
NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN
OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

PELOTON
LAND SOLUTIONS
ENGINEER
PELOTON LAND SOLUTIONS
11000 FRISCO ST., SUITE 400
FRISCO, TEXAS 75033
PHONE #: (469) 213-1800
TBPE FIRM NO. 12207

DECEMBER 2020



CURVE TABLE				
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING
C1	11°53'23"	495.00'	102.72'	S84°28'41"E 102.54'
C2	3°17'43"	225.00'	12.94'	S01°13'28"W 12.94'
C3	16°24'46"	175.00'	50.13'	S82°12'57"E 49.96'
C4	0°45'17"	1116.00'	14.70'	N65°01'40"W 14.70'
C5	25°46'22"	1066.00'	479.51'	S77°32'12"E 475.48'
C6	22°54'50"	400.00'	159.97'	S78°57'57"E 158.91'
C7	6°19'43"	175.00'	19.33'	N18°53'49"W 19.32'
C8	10°48'44"	225.00'	42.46'	S16°39'17"E 42.40'
C9	16°24'51"	470.00'	134.65'	S82°12'57"E 134.19'
C10	11°44'36"	200.00'	40.99'	N05°26'55"E 40.92'
C11	16°24'52"	200.00'	57.30'	S82°12'57"E 57.10'
C12	66°46'45"	25.00'	29.14'	N56°11'15"E 27.52'
C13	2°33'05"	1091.00'	48.58'	S65°55'33"E 48.58'
C14	23°13'17"	1091.00'	442.17'	S78°48'44"E 439.15'
C15	67°05'08"	25.00'	29.27'	N56°02'03"E 27.63'

CURVE TABLE				
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING
C16	22°54'52"	425.00'	169.97'	S78°57'57"E 168.84'
C17	18°20'45"	200.00'	64.04'	N12°53'08"W 63.77'
C18	6°43'54"	200.00'	23.50'	N00°20'48"W 23.48'
C19	16°24'52"	200.00'	57.30'	S82°12'57"E 57.10'
C20	16°24'52"	470.00'	134.65'	S82°12'57"E 134.19'
C21	90°00'00"	250.00'	392.70'	N45°25'23"W 353.55'
C22	8°00'25"	500.00'	69.87'	N07°01'22"E 69.82'
C23	5°33'57"	500.00'	48.57'	N13°48'33"E 48.55'
C24	17°00'54"	200.00'	59.39'	N08°05'04"E 59.18'
C25	12°18'50"	500.00'	102.09'	S09°20'55"W 101.89'
C26	17°00'54"	242.50'	72.01'	S08°05'04"W 71.75'
C27	5°51'15"	200.00'	20.43'	N05°56'47"E 20.43'
C28	0°17'00"	200.00'	0.99'	N09°00'55"E 0.99'
C29	9°34'47"	157.50'	26.33'	N04°22'01"E 26.30'

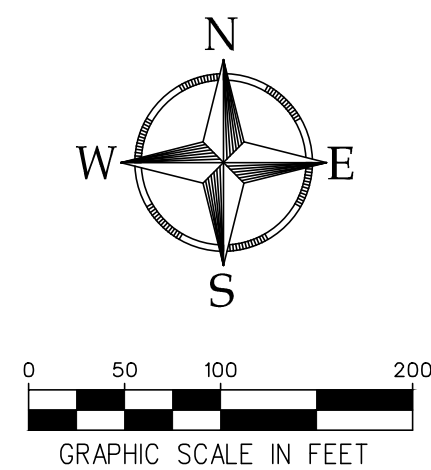
LINE TABLE		
NO.	BEARING	LENGTH
L1	N45°22'01"W	28.26'
L2	N89°34'37"E	15.00'
L3	N44°34'37"E	14.14'
L4	N00°25'23"W	15.00'
L5	S00°25'23"E	15.00'
L6	S45°25'23"E	14.14'
L7	N89°34'37"E	100.00'
L8	N51°31'29"E	12.72'
L9	N00°25'23"W	18.47'
L10	S00°25'23"E	19.14'
L11	S34°55'54"E	15.53'
L12	S74°00'31"E	43.16'
L13	N89°34'37"E	74.64'
L14	N56°11'15"E	16.70'
L15	N22°47'52"E	34.97'
L16	N21°25'55"W	14.33'
L17	N44°34'37"E	119.97'
L18	N00°25'23"W	9.34'
L19	S00°25'23"E	9.34'
L20	S45°25'23"E	21.21'

LINE TABLE		
NO.	BEARING	LENGTH
L21	N89°34'37"E	105.00'
L22	N44°34'37"E	14.14'
L23	N00°25'23"W	14.34'
L24	S00°25'23"E	14.34'
L25	S45°25'23"E	14.14'
L26	N56°02'03"E	16.67'
L27	N22°29'29"E	24.97'
L28	N22°30'31"W	14.14'
L29	N67°30'31"W	15.00'
L30	S67°30'31"E	15.00'
L31	N67°29'29"E	14.14'
L32	N22°29'29"E	15.00'
L33	N00°25'23"W	19.14'
L34	S74°00'31"E	75.00'
L35	N89°34'37"E	84.64'
L36	N22°47'52"E	79.68'
L37	N22°29'29"E	119.97'
L38	S74°00'31"E	75.00'
L39	N45°25'23"W	21.21'
L40	N44°34'37"E	21.21'

LINE TABLE		
NO.	BEARING	LENGTH
L41	N00°25'23"W	69.40'
L42	N44°34'37"E	14.14'
L43	N44°34'37"E	14.14'
L44	S67°01'40"W	14.32'
L45	S45°25'23"E	14.13'
L46	N44°34'37"E	14.13'
L47	S45°25'23"E	21.19'
L48	N44°34'37"E	21.20'
L49	S45°25'23"E	14.16'
L50	N44°34'37"E	14.14'
L51	N67°29'29"E	14.14'
L52	S43°42'07"E	13.72'
L53	N45°25'23"W	14.14'
L54	S44°34'37"W	14.14'
L55	N45°25'23"W	14.14'
L56	S46°17'53"W	14.56'
L57	N44°34'37"E	14.14'
L58	S45°25'23"E	14.14'
L59	N44°34'37"E	14.14'
L60	S43°42'07"E	13.72'
L61	S02°56'00"W	1.41'

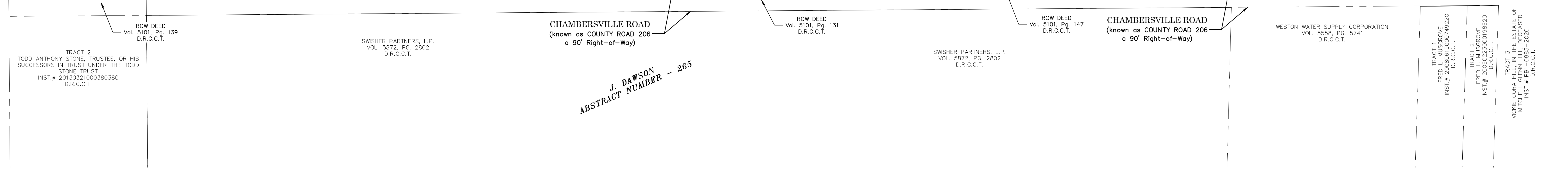
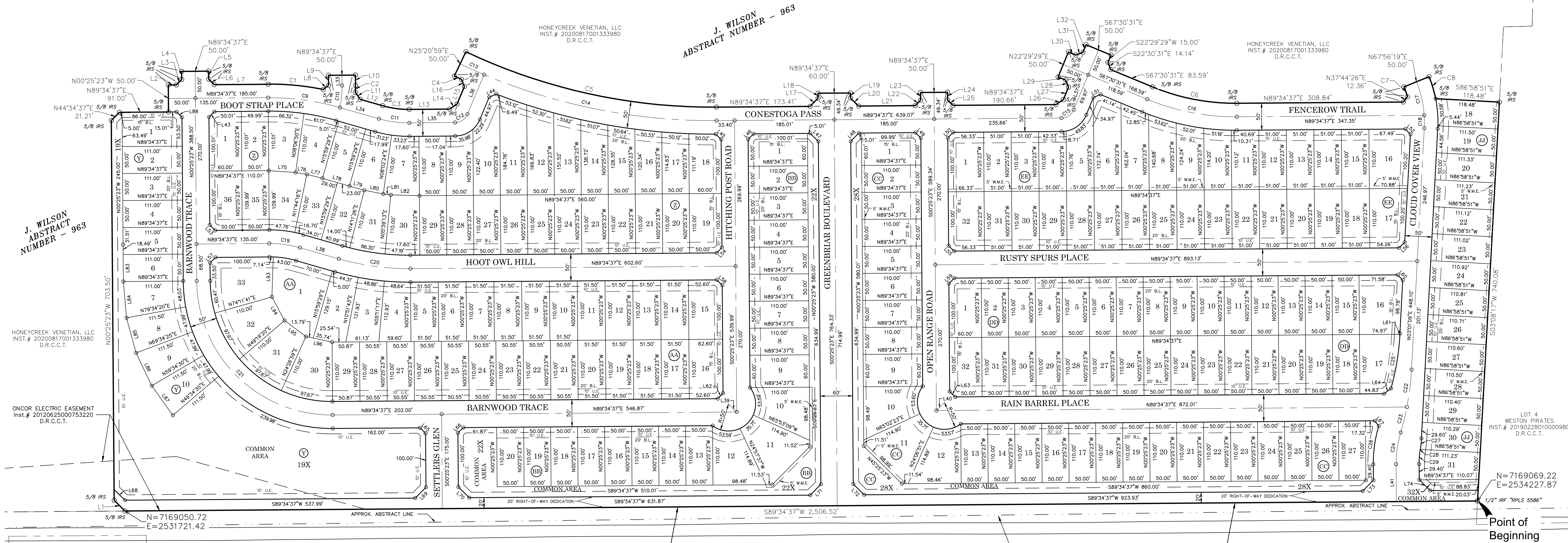
LINE TABLE		
NO.	BEARING	LENGTH
L62	S44°34'37"W	14.14'
L63	N45°25'23"W	14.14'
L64	S52°50'31"W	16.03'
L65	S45°25'23"E	14.14'
L66	N44°34'37"E	14.14'
L67	S37°22'36"E	12.04'
L68	N45°25'23"W	28.29'
L69	S44°34'37"W	28.28'
L70	N45°25'23"W	28.28'
L71	S44°34'37"W	28.29'
L72	N45°25'23"W	28.29'
L73	S44°34'37"W	28.28'
L74	N45°25'23"W	28.28'
L75	N86°09'16"W	49.87'
L76	N80°04'27"W	21.18'
L77	N75°46'46"W	29.86'
L78	N74°00'31"W	52.00'
L79	N74°20'27"W	28.53'
L80	N78°53'05"W	35.94'
L81	S83°09'11"E	13.95'

LINE TABLE		
NO.	BEARING	LENGTH
L82	N88°23'28"W	53.09'
L83	N00°25'23"W	68.49'
L84	N05°00'06"W	67.38'
L85	N15°25'38"W	67.36'
L86	N25°25'33"W	67.36'
L87	N35°25'28"W	67.36'
L88	S45°25'23"E	14.13'
L89	N01°54'46"E	73.92'
L94	N28°14'29"W	49.53'
L95	N53°06'51"W	49.53'
L96	N77°59'12"W	49.53'



LEGEND

- | | |
|-----------|--|
| B.L. | BUILDING LINE |
| U.E. | UTILITY EASEMENT |
| D.E. | DRAINAGE EASEMENT |
| S.S.E. | SANITARY SEWER EASEMENT |
| W.M.E. | WALL MAINTENANCE EASEMENT |
| IRF | IRON ROD FOUND |
| IRS | IRON ROD SET |
| D.R.C.C.T | DEED RECORDS, COLLIN COUNTY, TEXAS |
| 5/8 IRS | 5/8 IRON ROD WITH CAP STAMPED "PELTON" SET |



A FINAL PLAT OF
VENETIAN AT WESTON, PHASE 1
204 RESIDENTIAL LOTS,
4 OPEN SPACE / COMMON AREAS 4.177 ACRES
AND RIGHT-OF-WAY DEDICATION 12.268 ACRES
TOTALING 44.579 ACRES
SITUATED IN THE
J. WILSON SURVEY, ABSTRACT NUMBER 963
CITY OF WESTON, COLLIN COUNTY, TEXAS

OWNER/DEVELOPER	SURVEYOR	ENGINEER
HONEYCREEK VENETIAN, LLC 520 CENTRAL PARKWAY EAST, #104 PLANO, TX 75093 972-422-9880	PELTON LAND SOLUTIONS 11000 FRISCO ST., SUITE 400 FRISCO, TEXAS 75033 469-213-1800	PELTON LAND SOLUTIONS 11000 FRISCO ST., SUITE 400 FRISCO, TEXAS 75033 469-213-1800

Revisions:	Job #:	LEN20001
	Drawn By:	MRY/JTC
	Checked By:	CSR
	Date:	12/2/2020

OWNERS CERTIFICATION
STATE OF TEXAS
COUNTY OF COLLIN

WHEREAS, HONEYCREEK VENETIAN, LLC ARE THE OWNERS OF A TRACT OF LAND SITUATED IN THE J. WILSON SURVEY, ABSTRACT NO. 963, COLLIN COUNTY, TEXAS, AND BEING OUT OF A 325.320 ACRE TRACT CONVEYED TO THEM BY HONEYCREEK VENETIAN, LLC AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING THAT CERTAIN TRACT OF LAND SITUATED IN THE JAMES WILSON SURVEY, ABSTRACT NUMBER 863, COLLIN COUNTY, TEXAS, AND BEING A PART OF HADLEY LAND DESIGNED BY LAND DESIGNERS, L.P., RECORDED IN INSTRUMENT NUMBER 20200817001333980, OF THE DEED RECORDS OF COLLIN COUNTY, TEXAS (D.R.C.C.T.) BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2 INCH IRON ROD STAMPED "RPLS 5586" FOUND FOR THE SOUTHEAST CORNER OF SAID HONEYCREEK VENETIAN, LLC TRACT AND BEING IN THE NORTH RIGHT-OF-WAY LINE OF COUNTY ROAD 206 (A CALLED 90 FOOT WIDE RIGHT-OF-WAY):

THENCE SOUTH 89°34' 37" WEST, 2,506.52 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET ALONG THE SOUTH LINE OF SAID HONEYCREEK VENETIAN, LLC TRACT AND THE NORTH RIGHT-OF-WAY LINE OF SAID COUNTY ROAD 206;

THENCE LEAVING SAID NORTH RIGHT-OF-WAY LINE, OVER AND ACROSS THE ABOVE MENTIONED HONEYCREEK VENETIAN, LLC TRACT, THE FOLLOWING BEARINGS AND DISTANCES:

S 89° 34' 37" W, 2506.52 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 45° 22' 01" W, 28.26 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 00° 25' 23" W, 703.50 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 44° 34' 37" E, 21.21 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 89° 34' 37" E, 91.00 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 00° 25' 23" W, 50.00 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 89° 34' 37" E, 15.00 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 44° 34' 37" E, 14.14 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 00° 25' 23" W, 15.00 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 89° 34' 37" E, 50.00 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
S 00° 25' 23" E, 15.00 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
S 45° 25' 23" E, 14.14 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 89° 34' 37" E, 100.00 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET AND THE BEGINNING OF A CURVE TO THE RIGHT;

WITH SAID CURVE TO THE RIGHT, HAVING AN ARC DISTANCE OF 102.72 FEET, THROUGH A CENTRAL ANGLE OF 11° 53' 23", HAVING A RADIUS OF 495.00 FEET, AND A LONG CHORD WHICH BEARS S 84° 28' 41" E, 102.54 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;

N 51° 31' 29" E, 12.72 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 00° 25' 23" W, 18.47 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 89° 34' 37" E, 50.00 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
S 00° 25' 23" E, 19.14 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET AND THE BEGINNING OF A CURVE TO THE LEFT;

WITH SAID CURVE TO THE LEFT, HAVING AN ARC DISTANCE 12.94 FEET, THROUGH A CENTRAL ANGLE OF 03° 17' 43", HAVING A RADIUS OF 225.00 FEET, AND A LONG CHORD WHICH BEARS S 01° 13' 28" W, 12.94 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;

S 34° 55' 54" E, 15.53 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
S 74° 00' 31" E, 43.16 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET AND THE BEGINNING OF A CURVE TO THE LEFT;

WITH SAID CURVE TO THE LEFT, HAVING AN ARC DISTANCE 50.13 FEET, THROUGH A CENTRAL ANGLE OF 16° 24' 46", HAVING A RADIUS OF 175.00 FEET, AND A LONG CHORD WHICH BEARS S 82° 12' 57" E, 49.96 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;

N 89° 34' 37" E, 74.64 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 56° 11' 15" E, 16.70 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 22° 47' 52" E, 34.97 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 21° 25' 55" W, 14.33 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE,

SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 00° 45' 17", HAVING A RADIUS OF 1116.00 FEET, AND WHOSE LONG CHORD BEARS N 65° 01' 40" W, 14.70 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;

N 25° 20' 59" E, 50.00 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET AND THE BEGINNING OF A CURVE TO THE LEFT;

WITH SAID CURVE TO THE LEFT, HAVING AN ARC DISTANCE OF 479.51 FEET, THROUGH A CENTRAL ANGLE OF 25° 46' 22", HAVING A RADIUS OF 1066.00 FEET, AND A LONG CHORD WHICH BEARS S 77° 32' 12" E, 475.48 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;

N 89° 34' 37" E, 173.41 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 44° 34' 37" E, 21.21 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 00° 25' 23" W, 9.34 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 89° 34' 37" E, 60.00 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
S 00° 25' 23" E, 9.34 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
S 45° 25' 23" E, 21.21 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 89° 34' 37" E, 105.00 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 44° 34' 37" E, 14.14 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 00° 25' 23" W, 14.34 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 89° 34' 37" E, 50.00 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
S 00° 25' 23" E, 14.34 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
S 45° 25' 23" E, 14.14 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;

N 89° 34' 37" E, 190.66 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 56° 02' 03" E, 16.67 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 22° 29' 29" E, 24.97 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 22° 30' 31" W, 14.14 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 67° 30' 31" W, 15.00 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 22° 29' 29" E, 50.00 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
S 67° 30' 31" E, 15.00 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 67° 29' 29" E, 14.14 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;

N 22° 29' 29" E, 15.00 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
S 67° 30' 31" E, 50.00 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
S 22° 29' 29" W, 15.00 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
S 22° 30' 31" E, 14.14 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
S 67° 30' 31" E, 83.59 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET AND THE BEGINNING OF A CURVE TO THE LEFT;

WITH SAID CURVE TO THE LEFT, HAVING AN ARC DISTANCE OF 159.97 FEET THROUGH A CENTRAL ANGLE OF 22° 54' 50", HAVING A RADIUS OF 400.00 FEET, AND A LONG CHORD WHICH BEARS S 78° 57' 57" E, 158.91 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;

N 89° 34' 37" E, 308.84 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;
N 37° 44' 26" E, 12.36 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET AND THE BEGINNING OF A CURVE TO THE LEFT;

WITH SAID CURVE TO THE LEFT, HAVING AN ARC DISTANCE OF 19.33 FEET, THROUGH A CENTRAL ANGLE OF 06° 19' 43", HAVING A RADIUS OF 175.00 FEET, AND A LONG CHORD WHICH BEARS N 18° 53' 49" W, 19.32 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;

N 67° 56' 19" E, 50.00 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET AND THE BEGINNING OF A CURVE TO THE RIGHT;

WITH SAID CURVE TO THE RIGHT, HAVING AN ARC DISTANCE OF 42.46 FEET, THROUGH A CENTRAL ANGLE OF 10° 48' 44", HAVING A RADIUS OF 225.00 FEET, AND A LONG CHORD WHICH BEARS S 16° 39' 17" E, 42.40 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET;

THENCE S 86° 58' 51" E, 118.48 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "PELOTON" SET IN THE EAST LINE OF SAID HONEYCREEK VENETIAN, LLC AND THE WEST LINE OF LOT 4 WESTON PIRATES RECORDED IN INSTRUMENT NUMBER 20190228010000980 OF SAID D.R.C.C.T.;

THENCE S 03° 08' 17" W, 740.08 FEET TO THE POINT OF BEGINNING AND CONTAINING 1,941,857 SQUARE FEET OR 44.579 ACRES OF LAND MORE OR LESS.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT HONEYCREEK VENETIAN, LLC ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY CERTIFY AND ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS VENETIAN AT WESTON, PHASE 1, AN ADDITION TO COLLIN COUNTY, TEXAS AND DOES HEREBY DEDICATE TO THE PUBLIC USE FOREVER, THE STREETS, RIGHTS-OF-WAY, AND OTHER PUBLIC IMPROVEMENTS SHOWN THEREON. THE HONEYCREEK VENETIAN, LLC DOES HEREIN CERTIFY THE FOLLOWING:

1. THE STREETS AND ALLEYS, IF ANY, ARE DEDICATED IN FEE SIMPLE FOR STREET AND ALLEY PURPOSES.
2. ALL PUBLIC IMPROVEMENTS AND DEDICATIONS ARE FREE AND CLEAR OF ALL DEBT, LIENS, AND/OR ENCUMBRANCES.
3. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, AND CREATED BY THIS PLAT, ARE DEDICATED, FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT.
4. NO BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS.
5. UTILITY EASEMENTS MAY BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF THE ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S USE THEREOF.
6. THE PUBLIC UTILITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS.
7. THE PUBLIC UTILITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENT FOR THE PURPOSE OF CONSTRUCTION, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING PERMISSION FROM ANYONE.
8. THE OWNERS OF THE LOTS ADJACENT TO OR UPON WHICH DRAINAGE EASEMENTS ARE CREATED BY THIS PLAT OR THE HOMEOWNER'S ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE AND OR THE RECONSTRUCTION OF THE DRAINAGE IMPROVEMENTS CONSTRUCTED IN SAID EASEMENTS FOR THE PURPOSE OF ASSURING THE FLOW OF STORM WATER TO THE DEGREE REQUIRED BY THE DESIGN AND ORIGINAL CONSTRUCTION
9. CITY OF WESTON WILL NOT BE RESPONSIBLE FOR MAINTENANCE OR REPAIR OF DRAINAGE IMPROVEMENTS ON PRIVATE LOTS OR ADJACENT THERETO.
10. CITY OF WESTON SHALL HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM A DRAINAGE EASEMENT IF NECESSARY TO MAINTAIN OR REPAIR THE EFFECT THE DRAINAGE SYSTEM IN THAT EASEMENT IS HAVING ON THE USE AND MAINTENANCE OF A ROADWAY AND THE DRAINAGE SYSTEMS OF THE ROADWAY.
11. ROADWAYS OF THE SUBDIVISION ARE PUBLIC ROADS AND NEITHER APPLICANT OR ANY FUTURE OWNER HAS THE RIGHT TO OBSTRUCT THE ROADWAYS BY A FENCE, GATE, OR OTHERWISE.
12. ALL MODIFICATIONS TO THIS DOCUMENT SHALL BE BY MEANS OF PLAT AND APPROVED BY THE CITY OF WESTON.
13. THIS PLAT IS SUBJECT TO THE SUBDIVISION REGULATIONS OF THE CITY OF WESTON, TEXAS.
14. PUBLIC FACILITIES CONTAINED HEREIN ARE SUBJECTED TO REIMBURSEMENT BY EAST FORK FWSD NO. 1-A

WITNESS, MY HAND, THIS THE _____DAY OF _____, 20__.

BY:

AUTHORIZED SIGNATURE.

PRINTED NAME AND TITLE.

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, _____.

NOTARY PUBLIC, STATE OF TEXAS

MY COMMISSION EXPIRES: _____

AUTHORIZATION

I/WE HEREBY CERTIFY THAT I/WE AM/ARE THE OWNER(S) OF THE ABOVE DESCRIBED PROPERTY. I/WE AM/ARE RESPECTFULLY REQUESTING PROCESSING AND APPROVAL OF A PLAT APPLICATION FOR THE SUBDIVISION OF THE PROPERTY. I/WE HEREBY AUTHORIZE _____ TO SIGN THE PLAT APPLICATION AND OTHER NECESSARY INSTRUMENTS ON MY/OUR BEHALF, AND TO ACT ON MY/OUR BEHALF DURING THE PROCESSING AND PRESENTATION OF THE PLAT APPLICATION. _____ SHALL BE THE PRINCIPAL CONTACT WITH THE CITY IN PROCESSING THE PLAT APPLICATION.

OWNER(S)

SIGNATURE

PRINTED NAME: _____

DATE: _____

ADDRESS: _____

STATE OF TEXAS
COUNTY OF COLLIN

BEFORE ME, THE UNDERSIGNED AUTHORITY IN AND FOR _____ COUNTY, TEXAS, ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON AND OFFICER WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE IS _____, AND THAT HE/SHE IS AUTHORIZED TO EXECUTE THE FOREGOING INSTRUMENT FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 2020.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

TYPE OR PRINT NOTARY'S NAME

MY COMMISSION EXPIRES: _____

CERTIFICATE OF PLAT APPROVAL

APPROVED

City Development Official
City of Weston, Texas

Date

Witness by hand this ____ day of _____, 2020

City Secretary
City of Weston, Texas

CERTIFICATION:

THAT I, CHARLES STEPHEN RAMSEY, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON AS "SET" WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION ORDINANCE OF THE CITY OF WESTON.

SIGNATURE OF THE REGISTERED PROFESSIONAL
CHARLES STEPHEN RAMSEY

TEXAS REGISTRATION NO. 6718

"Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document." 22 TAC 663.18c
Charles Stephen Ramsey, RPLS 6718
Date: 12/2/2020

STATE OF TEXAS
COUNTY OF COLLIN

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE ____ DAY OF _____, 2020.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES ON:

A FINAL PLAT OF
VENETIAN AT WESTON, PHASE 1
204 RESIDENTIAL LOTS,
4 OPEN SPACE / COMMON AREAS 4.177 ACRES
AND RIGHT-OF-WAY DEDICATION 12.268 ACRES
TOTALING 44.579 ACRES
SITUATED IN THE
J. WILSON SURVEY, ABSTRACT NUMBER 963
CITY OF WESTON, COLLIN COUNTY, TEXAS

OWNER/DEVELOPER
HONEYCREEK VENETIAN, LLC
520 CENTRAL PARKWAY
EAST, #104
PLANO, TX 75093
972-422-9880

SURVEYOR
PELOTON LAND SOLUTIONS
11000 FRISCO ST., SUITE 400
FRISCO, TEXAS 75033
469-213-1800

ENGINEER
PELOTON LAND SOLUTIONS
11000 FRISCO ST., SUITE 400
FRISCO, TEXAS 75033
469-213-1800

Revisions:				
Job #:	LENZ0001	Drawn By:	MRY/JTC	Checked By:
			CSR	Date:
			12/2/2020	

PELOTON
LAND SOLUTIONS

11000 FRISCO ST, SUITE 400, FRISCO, TX 75033 PH.# 469-213-1800

SHEET

2

OF 2 SHEETS

NOTE: THE CONTRACTOR SHALL CONTACT THE FOLLOWING
AT LEAST 48 HOURS PRIOR TO EXCAVATING IN THIS AREA:

TEXAS 811	1-800-344-8377
ATMOS GAS	972-881-4161
TXU ELECTRIC DELIVERY	1-800-711-9112
WESTON WATER SUPPLY	972-382-2245
NORTH COLLIN SUD	972-837-2331

CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES
VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION.



0 40' 80'
SCALE: 1" = 40'

LEGEND

	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	RETAINING WALL
	100 YEAR FLOODPLAIN LINE
	EXPOSED GRADE BEAM
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	FINISHED PAD
	TOP OF WALL
	BOTTOM OF WALL
	END OF WALL
	HIGH POINT
	LOW POINT

NOTES:

- REFER TO CITY OF WESTON CONSTRUCTION STANDARD DETAILS FOR CONSTRUCTION NOTES.
- STORM WATER POLLUTION PREVENTION PLAN (SWPPP) TO BE COMPLETELY IMPLEMENTED PRIOR TO ANY GRADING WORK.
- GRADING SHALL NOT CREATE LOT-TO-LOT DRAINAGE CONDITION UNLESS APPROVED BY CITY OR DISTRICT ENGINEER DURING DESIGN AND EASEMENTS ARE PROVIDED.
- RETAINING WALLS TO BE PLACED ENTIRELY ON THE HIGH SIDE LOT, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE THROUGHOUT THE SITE FROM ALL OFFSITE AREAS.
- THE CITY OF WESTON DESIGN AND CONSTRUCTION STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT.
- WALL INFORMATION SHOWN ON PLANS IS TO BE USED FOR HEIGHT AND LOCATION PURPOSES ONLY. ACTUAL RETAINING WALL AND SLOPE STABILITY DESIGN BY OTHERS.
- SPECIFICATIONS FOR CONSTRUCTION AND TESTING FOR EXCAVATION AND FILLING ON PRIVATE LOTS SHALL BE PROVIDED BY THE PROJECT'S GEOTECHNICAL ENGINEER. SPECIFICATIONS FOR CONSTRUCTION AND TESTING FOR EXCAVATION AND FILLING WITHIN PUBLIC RIGHT-OF-WAYS SHALL BE CONTROLLED BY THE MORE STRINGENT REQUIREMENTS OF THE GOVERNING AGENCY OR THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE SPECIFICATIONS FROM THE GEOTECHNICAL ENGINEER AND GOVERNING AGENCY PRIOR TO COMMENCING WORK.

BENCHMARKS

BM #1 - "X" CUT ON HEADWALL ON THE EAST SIDE OF FM 543, APPROX. 62' SOUTH OF THE CENTERLINE OF RIGSBY LANE ELEVATION = 745.65'

BM #2 - "X" CUT ON HEADWALL ON THE WEST SIDE OF FM 543, APPROXIMATELY 2.946' NORTH OF THE CENTERLINE OF CR 206 ELEVATION = 733.37'

BM #3 - "X" CUT ON HEADWALL AT THE SOUTHEAST CORNER OF THE INTERSECTION OF FM 543 AND CR 206 ELEVATION = 717.56'



PELOTON LAND SOLUTIONS
TEXAS FIRM NO. 12207

THE SEAL APPEARING ON THIS DOCUMENT WAS
AUTHORIZED BY JAY W. REISSIG, P.E. # 94971.
ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER
NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN
OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

NO.	DATE	REVISION

VENETIAN AT WESTON, PHASE 1

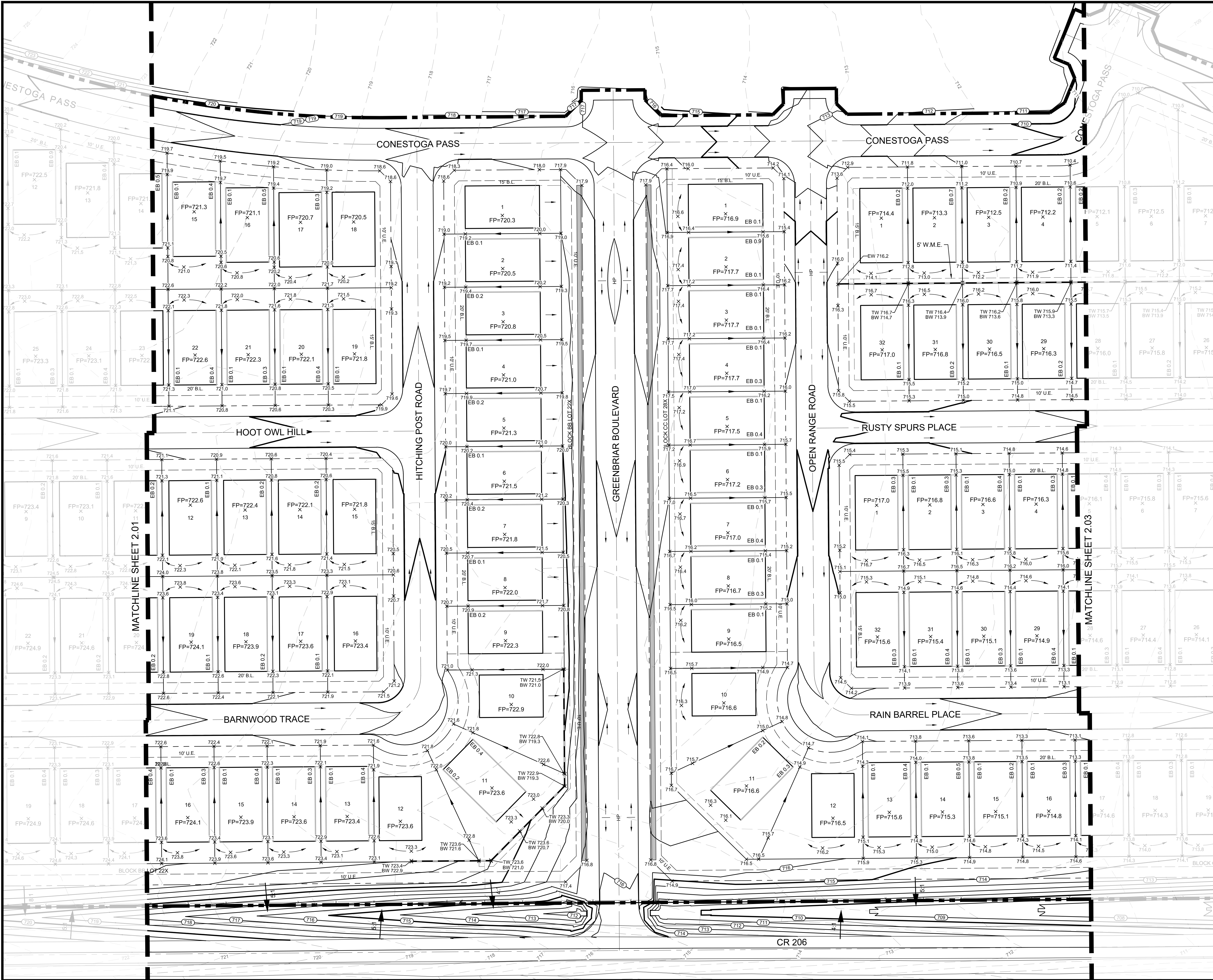
GRADING PLAN

WESTON, COLLIN COUNTY, TEXAS



TEXAS REGISTRATION ENGINEERING FIRM NO. 12207
11000 FRISCO STREET, SUITE 400, FRISCO, TEXAS 75033
FRISCO OFFICE PHONE: (469) 213-1800

DRAWN: MCM	DATE	PROJECT #	SHEET
DESIGNED: MCM	DECEMBER 2020	LEN200001	2.01
REVIEWER: JWR			



NOTE: THE CONTRACTOR SHALL CONTACT THE FOLLOWING AT LEAST 48 HOURS PRIOR TO EXCAVATING IN THIS AREA:

TEXAS 811	1-800-344-8377
ATMOS GAS	972-881-4161
TXU ELECTRIC DELIVERY	1-800-711-9112
WESTON WATER SUPPLY	972-382-2245
NORTH COLLIN SUD	972-837-2331

CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION.

0 40' 80'

SCALE: 1" = 40'

LEGEND

	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	RETAINING WALL
	100 YEAR FLOODPLAIN LINE
	EXPOSED GRADE BEAM
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	FINISHED PAD
	TOP OF WALL
	BOTTOM OF WALL
	HIGH POINT
	LOW POINT

NOTES:

- REFER TO CITY OF WESTON CONSTRUCTION STANDARD DETAILS FOR CONSTRUCTION NOTES.
- STORM WATER POLLUTION PREVENTION PLAN (SWPPP) TO BE COMPLETELY IMPLEMENTED PRIOR TO ANY GRADING WORK.
- GRADING SHALL NOT CREATE LOT-TO-LOT DRAINAGE CONDITION UNLESS APPROVED BY CITY OR DISTRICT ENGINEER DURING DESIGN AND EASEMENTS ARE PROVIDED.
- RETAINING WALLS TO BE PLACED ENTIRELY ON THE HIGH SIDE LOT, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE THROUGHOUT THE SITE FROM ALL OFFSITE AREAS.
- THE CITY OF WESTON DESIGN AND CONSTRUCTION STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT.
- WALL INFORMATION SHOWN ON PLANS IS TO BE USED FOR HEIGHT AND LOCATION PURPOSES ONLY. ACTUAL RETAINING WALL AND SLOPE STABILITY DESIGN BY OTHERS.
- SPECIFICATIONS FOR CONSTRUCTION AND TESTING FOR EXCAVATION AND FILLING ON PRIVATE LOTS SHALL BE PROVIDED BY THE PROJECT'S GEOTECHNICAL ENGINEER. SPECIFICATIONS FOR CONSTRUCTION AND TESTING FOR EXCAVATION AND FILLING WITHIN PUBLIC RIGHT-OF-WAYS SHALL BE CONTROLLED BY THE MORE STRINGENT REQUIREMENTS OF THE GOVERNING AGENCY OR THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE SPECIFICATIONS FROM THE GEOTECHNICAL ENGINEER AND GOVERNING AGENCY PRIOR TO COMMENCING WORK.

BENCHMARKS

BM #1 - "X" CUT ON HEADWALL ON THE EAST SIDE OF FM 543, APPROX. 62' SOUTH OF THE CENTERLINE OF RIGSBY LANE ELEVATION = 745.65'

BM #2 - "X" CUT ON HEADWALL ON THE WEST SIDE OF FM 543, APPROXIMATELY 2.946' NORTH OF THE CENTERLINE OF CR 206 ELEVATION = 733.37'

BM #3 - "X" CUT ON HEADWALL AT THE SOUTHEAST CORNER OF THE INTERSECTION OF FM 543 AND CR 206 ELEVATION = 717.56'

FOR GOVERNMENT USE ONLY

JAY W. REISSIG
LICENSED PROFESSIONAL ENGINEER
12/8/2020

PELOTON LAND SOLUTIONS
TEXAS FIRM NO. 12207

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JAY W. REISSIG, P.E. # 88871. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

NO.	DATE	REVISION

VENETIAN AT WESTON, PHASE 1

GRADING PLAN

WESTON, COLLIN COUNTY, TEXAS

PELOTON
LAND SOLUTIONS

TEXAS REGISTRATION ENGINEERING FIRM NO. 12207
11000 FRISCO STREET, SUITE 400, FRISCO, TEXAS 75033
FRISCO OFFICE PHONE: (469) 213-1800

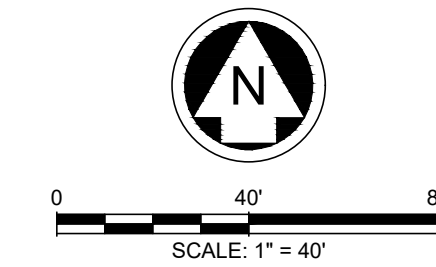
DRAWN: MCM	DATE: DECEMBER 2020	PROJECT #: LEN20001	SHEET: 2.02
------------	---------------------	---------------------	-------------

MATCHLINE SHEET 2.02

NOTE: THE CONTRACTOR SHALL CONTACT THE FOLLOWING
AT LEAST 48 HOURS PRIOR TO EXCAVATING IN THIS AREA:

TEXAS 811	1-800-344-8377
ATMOS GAS	972-881-4161
TXU ELECTRIC DELIVERY	1-800-711-9112
WESTON WATER SUPPLY	972-382-2245
NORTH COLLIN SUD	972-837-2331

CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES
VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION.



LEGEND

	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	RETAINING WALL
	100 YEAR FLOODPLAIN LINE
	EXPOSED GRADE BEAM
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	FINISHED PAD
	TOP OF WALL
	BOTTOM OF WALL
	END OF WALL
	HIGH POINT
	LOW POINT

- NOTES:
- REFER TO CITY OF WESTON CONSTRUCTION STANDARD DETAILS FOR CONSTRUCTION NOTES.
 - STORM WATER POLLUTION PREVENTION PLAN (SWPPP) TO BE COMPLETELY IMPLEMENTED PRIOR TO ANY GRADING WORK.
 - GRADING SHALL NOT CREATE LOT-TO-LOT DRAINAGE CONDITION UNLESS APPROVED BY CITY OR DISTRICT ENGINEER DURING DESIGN AND EASEMENTS ARE PROVIDED.
 - RETAINING WALLS TO BE PLACED ENTIRELY ON THE HIGH SIDE LOT, UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE THROUGHOUT THE SITE FROM ALL OFFSITE AREAS.
 - THE CITY OF WESTON DESIGN AND CONSTRUCTION STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT.
 - WALL INFORMATION SHOWN ON PLANS IS TO BE USED FOR HEIGHT AND LOCATION PURPOSES ONLY. ACTUAL RETAINING WALL AND SLOPE STABILITY DESIGN BY OTHERS.
 - SPECIFICATIONS FOR CONSTRUCTION AND TESTING FOR EXCAVATION AND FILLING ON PRIVATE LOTS SHALL BE PROVIDED BY THE PROJECT'S GEOTECHNICAL ENGINEER. SPECIFICATIONS FOR CONSTRUCTION AND TESTING FOR EXCAVATION AND FILLING WITHIN PUBLIC RIGHT-OF-WAYS SHALL BE CONTROLLED BY THE MORE STRINGENT REQUIREMENTS OF THE GOVERNING AGENCY OR THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE SPECIFICATIONS FROM THE GEOTECHNICAL ENGINEER AND GOVERNING AGENCY PRIOR TO COMMENCING WORK.

BENCHMARKS

BM #1 - "X" CUT ON HEADWALL ON THE EAST SIDE OF FM 543, APPROX. 62' SOUTH OF THE CENTERLINE OF RIGSBY LANE ELEVATION = 745.65'

BM #2 - "X" CUT ON HEADWALL ON THE WEST SIDE OF FM 543, APPROXIMATELY 2.946' NORTH OF THE CENTERLINE OF CR 206 ELEVATION = 733.37'

BM #3 - "X" CUT ON HEADWALL AT THE SOUTHEAST CORNER OF THE INTERSECTION OF FM 543 AND CR 206 ELEVATION = 717.56'

PELOTON LAND SOLUTIONS
TEXAS FIRM NO. 12207

THE SEAL APPEARING ON THIS DOCUMENT WAS
AUTHORIZED BY JAY W. REISSIG, P.E. # 38871,
ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER
NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN
OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

NO.	DATE	REVISION

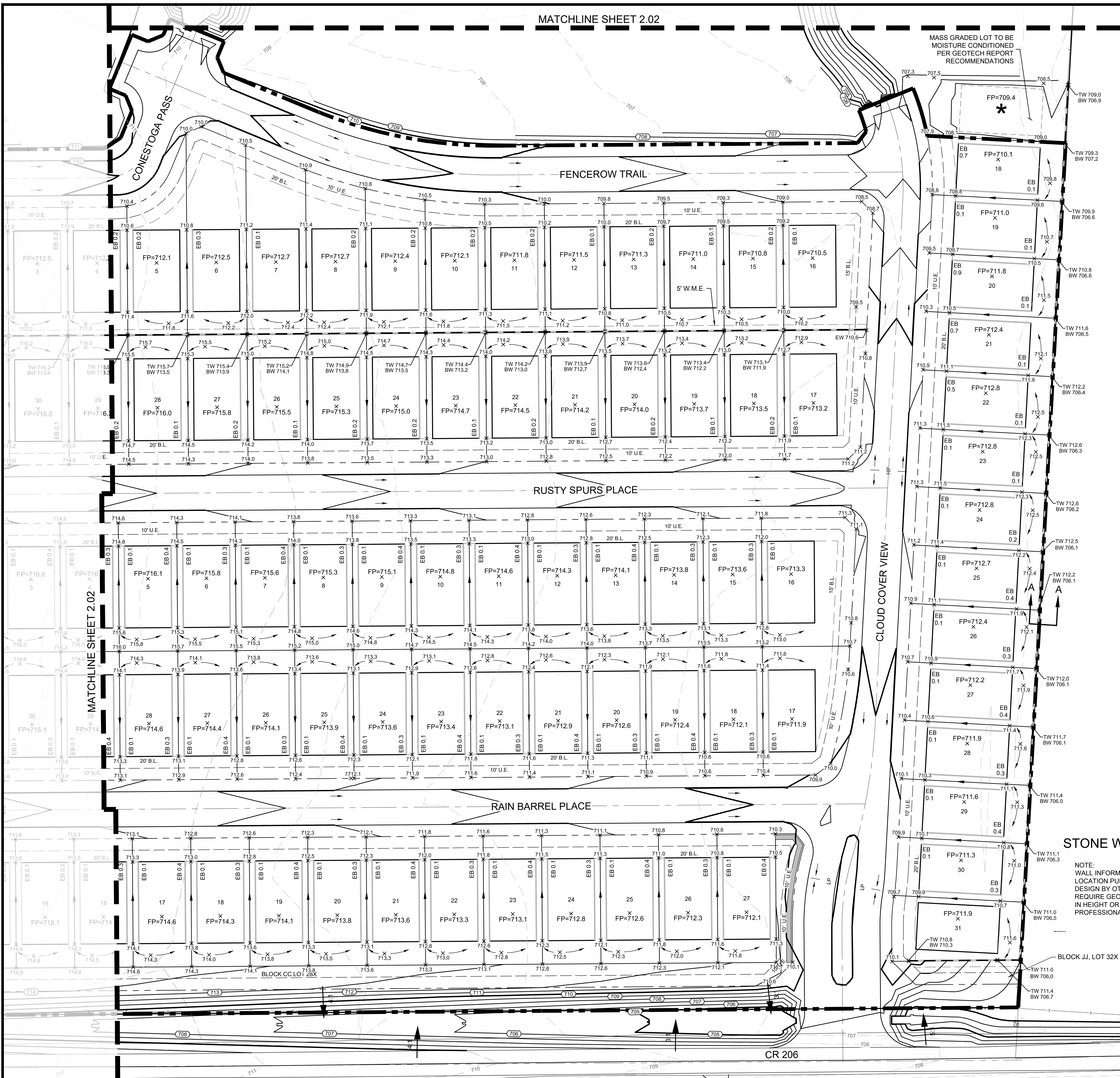
VENETIAN AT WESTON, PHASE 1

GRADING PLAN

WESTON, COLLIN COUNTY, TEXAS



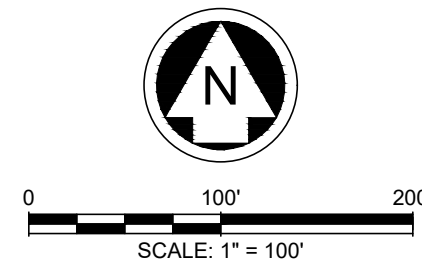
DRAWN: MCM	DATE: DECEMBER 2020	PROJECT #: LEN20001	SHEET: 2.03
DESIGNED: MCM			
REVIEWER: JWR			



NOTE: THE CONTRACTOR SHALL CONTACT THE FOLLOWING
AT LEAST 48 HOURS PRIOR TO EXCAVATING IN THIS AREA:

TEXAS 811	1-800-344-8377
ATMOS GAS	972-881-4161
TXU ELECTRIC DELIVERY	1-800-711-9112
WESTON WATER SUPPLY	972-382-2245
NORTH COLLIN SUD	972-837-2331

CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES
VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION.



LEGEND

- | | |
|--|-------------------------|
| | PR. CONTOUR |
| | EX. CONTOUR |
| | PROPOSED SILT FENCE |
| | PROPOSED ROCK CHECK DAM |
| | 100 YEAR FLOODPLAIN |
| | EX. SPOT GRADE |
| | FINISHED PAD |

- NOTES:
- CONTRACTOR TO MAINTAIN 4:1 SIDE SLOPES MAX ON INTERIM BERMS & DITCHES.
 - THE CONTRACTOR MUST REFER TO THE GEOTECHNICAL REPORT, FOUNDATION PLANS, AND LANDSCAPE PLANS FOR 1) ALL BACKFILL AND COMPACTION REQUIREMENTS, 2) FOUNDATION WATER PROOFING AND 3) UNDERDRAINS AND LANDSCAPE DRAINS AROUND THE PERIMETER OF THE BUILDING(S).
 - LOTS MARKED WITH ★ ARE TO BE MASS GRADED BUT NOT FINAL BENCHMARKED, UNLESS SPECIFICALLY STATED, THESE LOTS ARE NOT TO BE MOISTURE CONDITIONED.
 - CONTRACTOR TO NOTIFY ENGINEER OF ANY FIELD DISCREPANCIES.

BENCHMARKS

BM #1 - "X" CUT ON HEADWALL ON THE EAST SIDE OF FM 543, APPROX. 62' SOUTH OF THE CENTERLINE OF RIGSBY LANE ELEVATION = 745.65'

BM #2 - "X" CUT ON HEADWALL ON THE WEST SIDE OF FM 543, APPROXIMATELY 2.946' NORTH OF THE CENTERLINE OF CR 206 ELEVATION = 733.37'

BM #3 - "X" CUT ON HEADWALL AT THE SOUTHEAST CORNER OF THE INTERSECTION OF FM 543 AND CR 206 ELEVATION = 717.56'



PELOTON LAND SOLUTIONS
TEXAS FIRM NO. 12207
THE SEAL APPEARING ON THIS DOCUMENT WAS
AUTHORIZED BY JAY W. REISSIG, P.E. # 194971.
ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER
NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN
OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

VENETIAN AT WESTON, PHASE 1

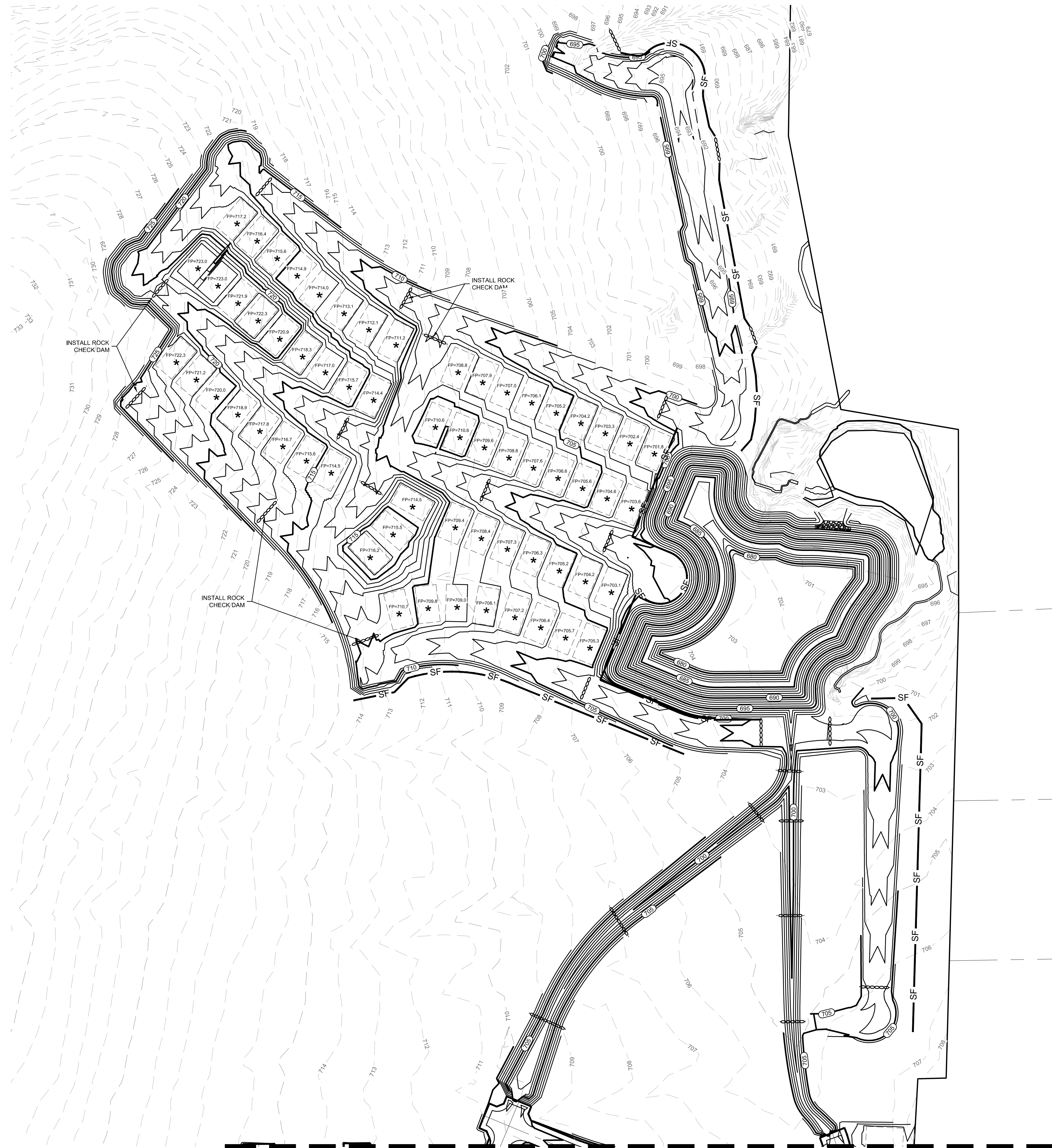
OFFSITE GRADING

WESTON, COLLIN COUNTY, TEXAS



TEXAS REGISTRATION ENGINEERING FIRM NO. 12207
11000 FRISCO STREET, SUITE 400, FRISCO, TEXAS 75033
FRISCO OFFICE PHONE: (469) 213-1800

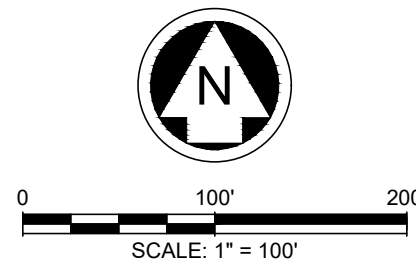
DRAWN: MCM	DATE	PROJECT #	SHEET
DESIGNED: MCM	DECEMBER 2020	LEN20001	2.04
REVIEWER: JWR			



NOTE: THE CONTRACTOR SHALL CONTACT THE FOLLOWING AT LEAST 48 HOURS PRIOR TO EXCAVATING IN THIS AREA:

TEXAS 811	1-800-344-8377
ATMOS GAS	972-881-4161
TXU ELECTRIC DELIVERY	1-800-711-9112
WESTON WATER SUPPLY	972-382-2245
NORTH COLLIN SUD	972-837-2331

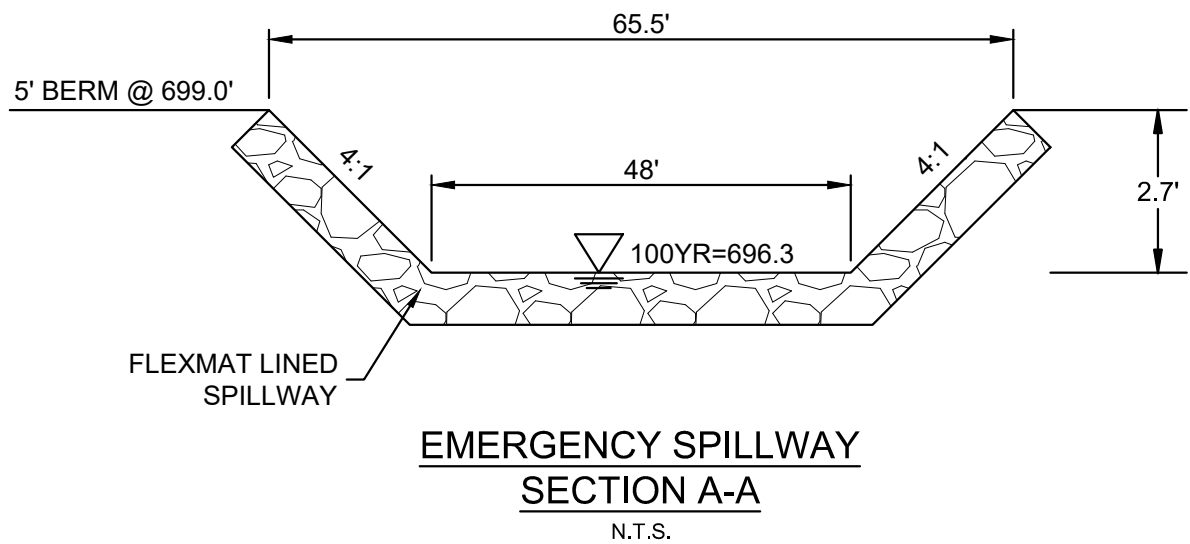
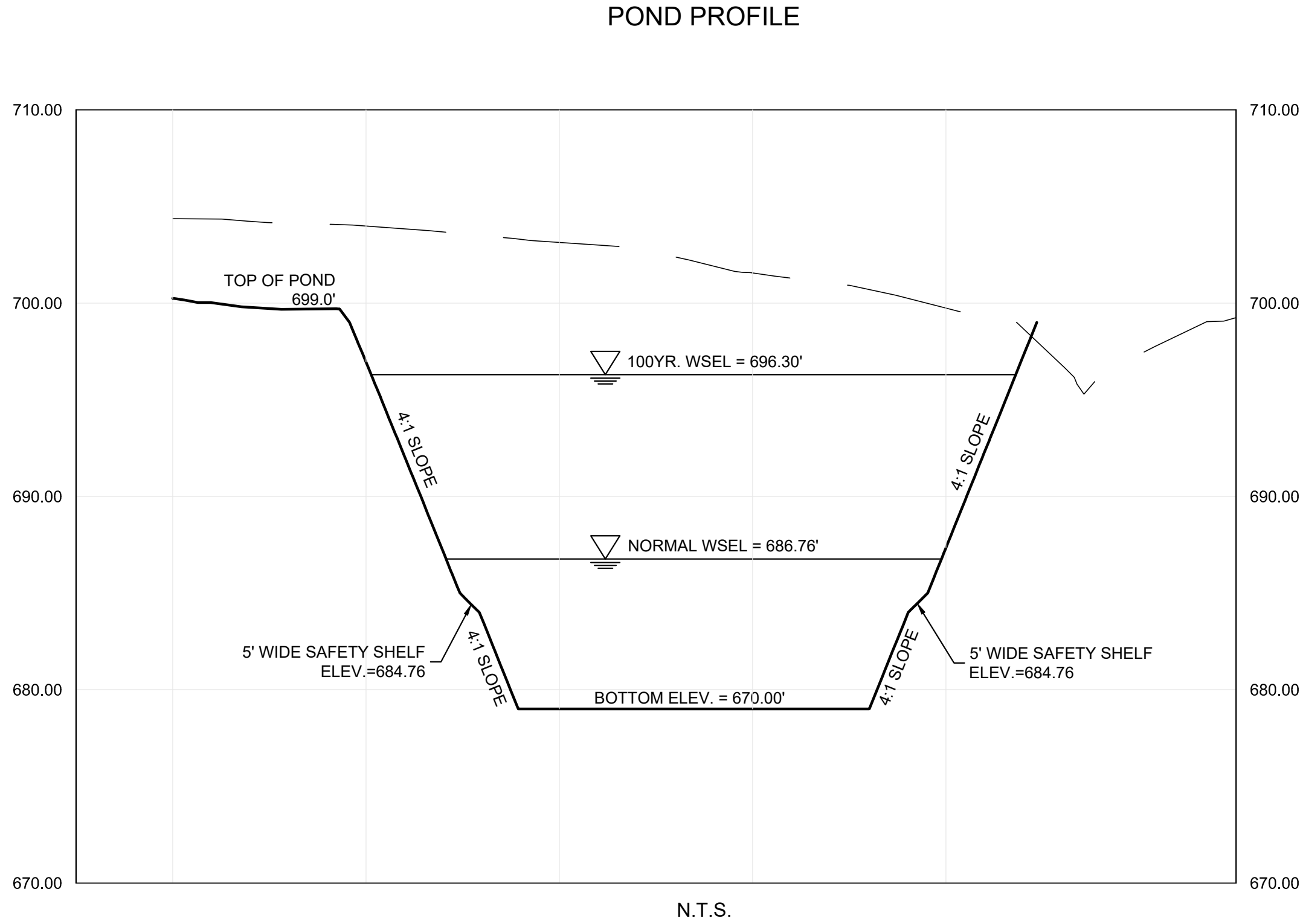
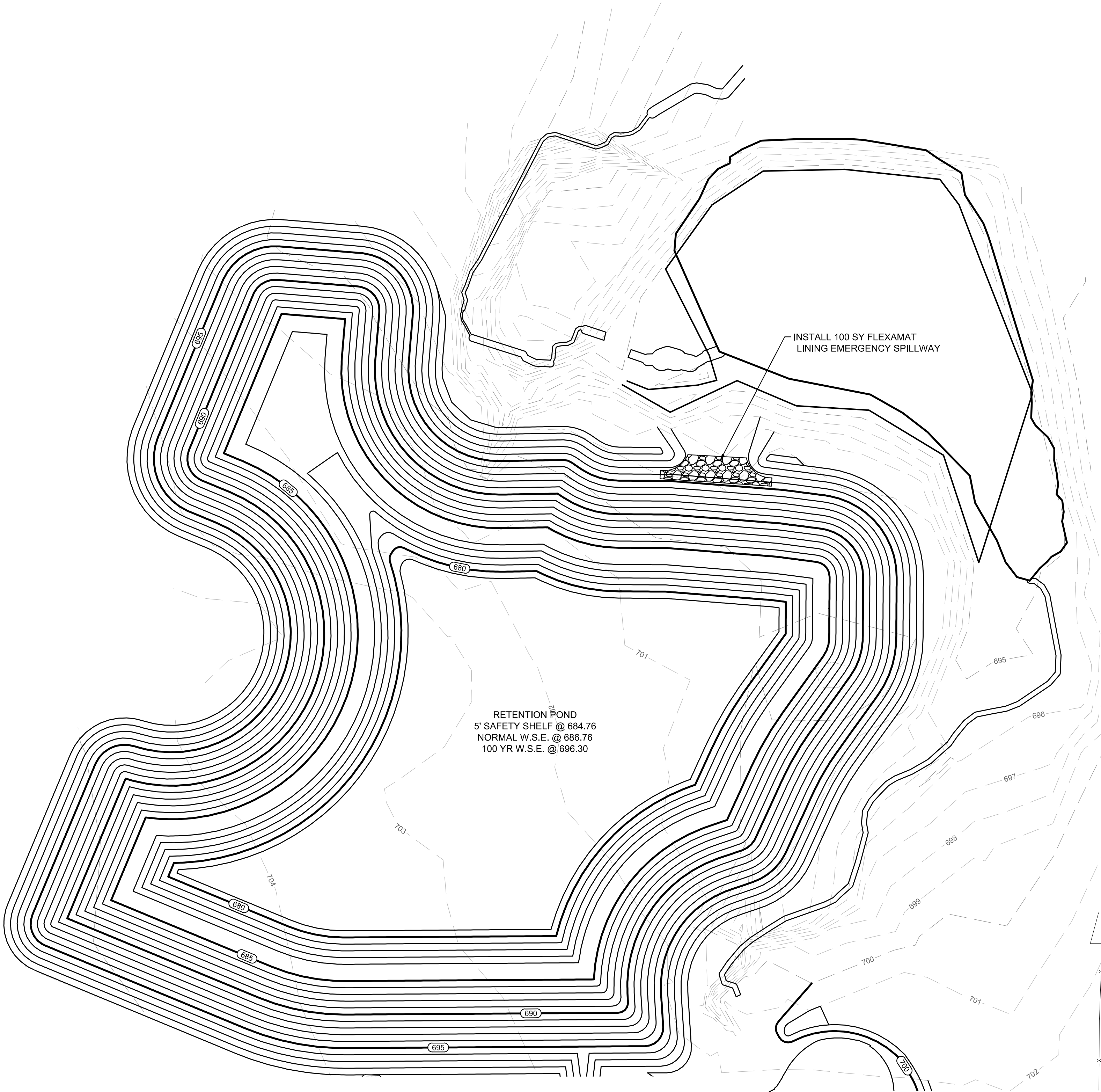
CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION.



LEGEND

- | | |
|--|-------------------------|
| | PR. CONTOUR |
| | EX. CONTOUR |
| | PROPOSED SILT FENCE |
| | PROPOSED ROCK CHECK DAM |
| | 100 YEAR FLOODPLAIN |
| | EX. SPOT GRADE |
| | FINISHED PAD |

- NOTES:
- CONTRACTOR TO MAINTAIN 4:1 SIDE SLOPES MAX ON INTERIM BERMS & DITCHES.
 - THE CONTRACTOR MUST REFER TO THE GEOTECHNICAL REPORT, FOUNDATION PLANS, AND LANDSCAPE PLANS FOR 1) ALL BACKFILL AND COMPACTION REQUIREMENTS, 2) FOUNDATION WATER PROOFING AND 3) UNDERDRAINS AND LANDSCAPE DRAINS AROUND THE PERIMETER OF THE BUILDING(S).
 - LOTS MARKED WITH ★ ARE TO BE MASS GRADED BUT NOT FINAL BENCHMARK. UNLESS SPECIFICALLY STATED, THESE LOTS ARE NOT TO BE MOISTURE CONDITIONED.
 - CONTRACTOR TO NOTIFY ENGINEER OF ANY FIELD DISCREPANCIES.



BENCHMARKS

BM #1 - "X" CUT ON HEADWALL ON THE EAST SIDE OF FM 543, APPROX. 62' SOUTH OF THE CENTERLINE OF RIGSBY LANE ELEVATION = 745.65'

BM #2 - "X" CUT ON HEADWALL ON THE WEST SIDE OF FM 543, APPROXIMATELY 2.946' NORTH OF THE CENTERLINE OF CR 206 ELEVATION = 733.37'

BM #3 - "X" CUT ON HEADWALL AT THE SOUTHEAST CORNER OF THE INTERSECTION OF FM 543 AND CR 206 ELEVATION = 717.56'

FOR GEOTECHNICAL ENGINEERING ONLY

PELOTON LAND SOLUTIONS
TEXAS FIRM NO. 12207

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JAY W. REISSIG, P.E. # 58871, ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

NO.	DATE	REVISION

VENETIAN AT WESTON, PHASE 1

POND GRADING

WESTON, COLLIN COUNTY, TEXAS

PELOTON
LAND SOLUTIONS

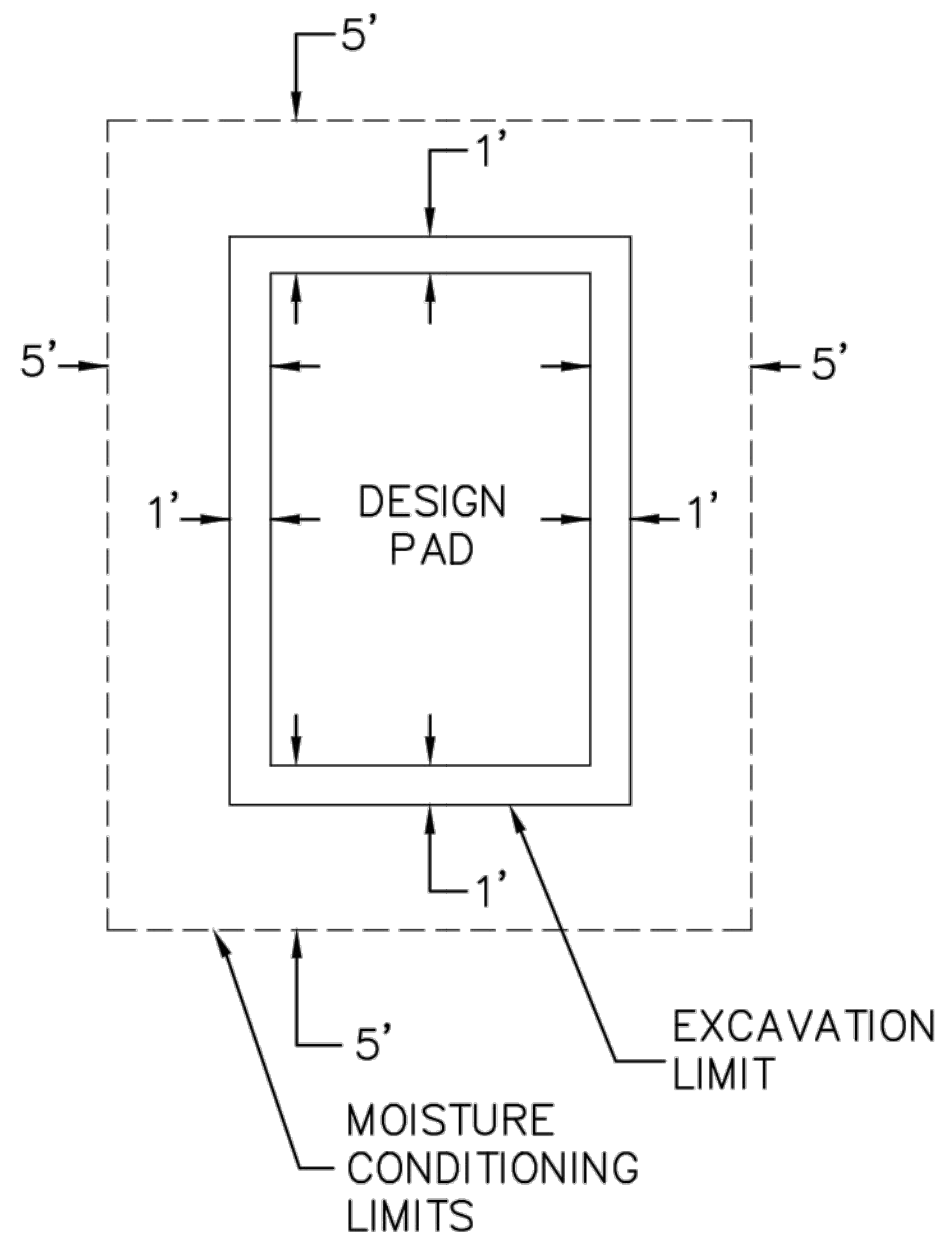
TEXAS REGISTRATION ENGINEERING FIRM NO. 12207
11000 FRISCO STREET, SUITE 400, FRISCO, TEXAS 75033
FRISCO OFFICE PHONE: (469) 213-1800

DRAWN: MCM	DATE	PROJECT #	SHEET
DESIGNED: MCM	DECEMBER 2020	LEN20001	2.05
REVIEWER: JWR			

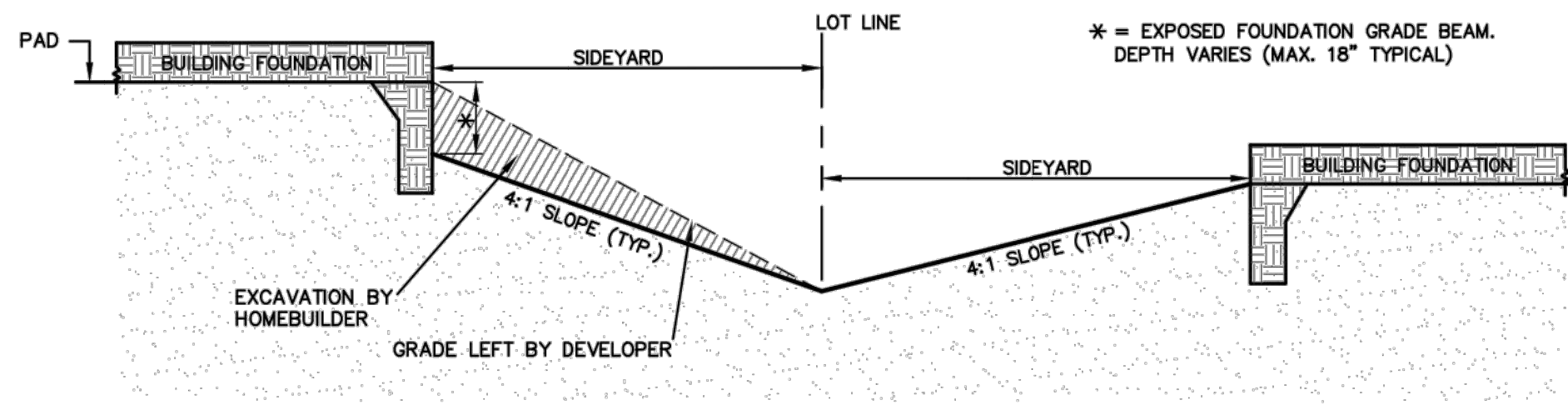
[illegible]

1' OVERBUILD
PAD
3'
1%
4' TYP
50' ROW
5'
1%
OVERBUILD

TYPICAL GRADING CROSS SECTION
N.T.S.



1. CONTRACTOR TO BUILD PAD
1' BEYOND DESIGN PAD.
2. CONTRACTOR TO MOISTURE
CONDITION 5' BEYOND PAD PER
GEOTECH RECOMMENDATIONS.



The diagram illustrates a proposed driveway layout. It shows a 'FINISHED FLOOR' level on the left, a 'FINISHED PAD' area, and a 'GARAGE' area. A dashed line indicates a 'MAX 12% SLOPE' leading from the 'FINISHED FLOOR' level down to the 'FINISHED PAD' area. A vertical dashed line is labeled 'ROW' (Right of Way). The 'FINISHED FLOOR' level is marked with a height of '0.8\''. The 'FINISHED PAD' area is marked with a height of '0.2\''. The 'GARAGE' area is marked with a height of '0.2\''. The 'MAX 12% SLOPE' is indicated by a dashed line with a slope of 12%.

FINAL GRADES WITHIN 5ft OF THE STRUCTURE TO HAVE A MINIMUM 2% SLOPE AWAY FROM THE STRUCTURE

REAR YARD SWALE POINT

MAX 12% SLOPE

GRADE LEFT BY DEVELOPER

FILL BY HOMEOWNER

PROPOSED FINISHED FLOOR ELEVATION

8" MIN.
11 1/2" TYP. (2X12 FORM BOARD)

PROPOSED FINISHED PAD ELEVATION

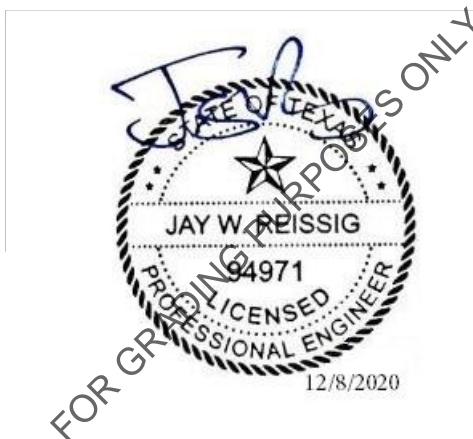
REAR YARD GRADING DETAIL

1. Storm water pollution prevention plan (SWPPP) to be completely implemented prior to any grading work.
2. Grading shall not create lot-to-lot drainage condition unless approved by city or district engineer during design and easements are provided.
3. Retaining walls to be placed entirely on the high side lot, unless otherwise noted.
4. The contractor shall be responsible for maintaining positive drainage throughout the site from all offsite areas.
5. Specifications for construction and testing for excavation and filling on private lots shall be provided by the project's geotechnical engineer. Specifications for construction and testing for excavation and filling within public right-of-ways shall be controlled by the more stringent requirements of the governing agency or the geotechnical engineer. The contractor shall be responsible for obtaining the specifications from the geotechnical engineer and governing agency prior to commencing work.
6. The contractor shall be responsible for scheduling testing of the excavation and filling with the owner's testing laboratory. If the contractor is responsible for obtaining the testing laboratory, the selected testing laboratory shall be approved by the owner.
7. Retaining walls 2'-4' in height may require a separate permit from the building inspection department, contractor to confirm. Retaining walls over 4' in height must be designed by an engineer registered in the State of Texas.
8. Retaining walls & gabion walls shown on this plan are for location and elevation purposes only. Structural stability engineering of the retaining walls are not part of the review responsibility of JBI partners.
9. Any slopes greater than 3:1 shall be reviewed by the owner's geotechnical engineer for stability purposes. All slopes are designed at a maximum of 4 horizontal to 1 vertical unless otherwise noted.
10. JBI Partners is not responsible for surface or sub-surface geotechnical and soil recommendations of building pads, subgrades, slopes, trenches, or other excavations. Finish grade elevations shown are for positive drainage purposes only. JBI Partners shall not be responsible for failures associated with soil expansion, settlement, slope failures, subsidence, or any other geological condition.
11. The retaining wall contractor shall identify the locations of the retaining walls and fences to coordinate the construction of any improvements affecting the retaining walls.

BM #1 - "X" CUT ON HEADWALL ON
THE EAST SIDE OF FM 543,
APPROX. 62' SOUTH OF THE
CENTERLINE OF RIGSBY LANE
ELEVATION = 745.65'

BM #2 - "X" CUT ON HEADWALL ON
THE WEST SIDE OF FM 543,
APPROXIMATELY 2,946' NORTH OF
THE CENTERLINE OF CR 206
ELEVATION = 733.37'

BM #3- "X" CUT ON HEADWALL AT
THE SOUTHEAST CORNER OF THE
INTERSECTION OF FM 543 AND CR
206
ELEVATION = 717.56'



PELTON LAND SOLUTIONS
TEXAS FIRM NO. 12207

AL APPEARING ON THIS DOCUMENT WAS
ORIZED BY JAY W. REISSIG, P.E. # 94971.
N OF A SEALED DOCUMENT WITHOUT PROPER
TION TO THE RESPONSIBLE ENGINEER IS AN
DER THE TEXAS ENGINEERING PRACTICE ACT

NO.	DATE	REVISION

WESTON, COLLIN COUNTY, TEXAS



TEXAS REGISTRATION ENGINEERING FIRM NO. 12207
11000 FRISCO STREET, SUITE 400, FRISCO, TEXAS 75034
FRISCO OFFICE PHONE: (469) 213-1800

DRAWN: MCM	DATE	PROJECT #	SHEET
DESIGNED: MCM	DECEMBER 2020	LEN20001	2.06
REVIEWER: JWR			

NOTE: THE CONTRACTOR SHALL CONTACT THE FOLLOWING
AT LEAST 48 HOURS PRIOR TO EXCAVATING IN THIS AREA:

TEXAS 811	1-800-344-8377
ATMOS GAS	972-881-4161
TXU ELECTRIC DELIVERY	1-800-711-9112
WESTON WATER SUPPLY	972-382-2245
NORTH COLLIN SUD	972-837-2331

CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES
VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION.



0 60' 120'
SCALE: 1" = 60'

LEGEND

- | | |
|----------|---|
| 100YR FP | 100 YR FLOODPLAIN LIMIT |
| --- | EXISTING CONTOUR |
| --- | PROPOSED CONTOUR |
| SF | PROPOSED SILT FENCE |
| LOC | PROPOSED LIMITS OF CONSTRUCTION |
| TP | PROPOSED TREE PROTECTION |
| RB | PROPOSED ROCK BERM |
| --- | PROPOSED CURLEX (4' OR 8') & SILT FENCE (TO BE APPLIED AFTER PAVING AT ROW) |
| --- | PROPOSED CHECK DAM |
| [] | INLET PROTECTION |
| [] | PROPOSED STABILIZED CONSTRUCTION ENTRANCE |

NOTES:

- REFER TO CITY OF WESTON CONSTRUCTION STANDARD DETAILS FOR CONSTRUCTION NOTES AND STANDARD DETAILS.
- THE CITY OF WESTON DESIGN AND CONSTRUCTION STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT.
- SILT FENCES SHALL BE INSTALLED AS SHOWN IN THE CITY OF WESTON STANDARD DETAILS.
- CONTRACTOR WILL INSTALL ADDITIONAL EROSION CONTROL WHERE EROSION PROTECTION IS NEEDED AS PER OWNERS, ENGINEERS OR THE CITY INSPECTOR.
- THE EXISTING VEGETATION ALONG EXISTING PARKWAYS AND MEDIANS SHALL BE REPLACED TO ITS ORIGINAL CONDITION OR BETTER.
- ALL DRAINAGE SWALES SHALL BE GRASSED AS PER CITY STANDARDS, PRIOR TO THE CITY ACCEPTANCE OF THE PROJECT.
- ALL CONSTRUCTION EROSION CONTROL SHALL MEET CITY ORDINANCE.

BENCHMARKS

BM #1 - "X" CUT ON HEADWALL ON THE EAST SIDE OF FM 543, APPROX. 62' SOUTH OF THE CENTERLINE OF RIGSBY LANE
ELEVATION = 745.65'

BM #2 - "X" CUT ON HEADWALL ON THE WEST SIDE OF FM 543, APPROXIMATELY 2.946' NORTH OF THE CENTERLINE OF CR 206
ELEVATION = 733.37'

BM #3 - "X" CUT ON HEADWALL AT THE SOUTHEAST CORNER OF THE INTERSECTION OF FM 543 AND CR 206
ELEVATION = 717.56'



PELOTON LAND SOLUTIONS
TEXAS FIRM NO. 12207
THE SEAL APPEARING ON THIS DOCUMENT WAS
AUTHORIZED BY JAY W. REISSIG, P.E. # 14971.
ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER
NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN
OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

VENETIAN AT WESTON, PHASE 1

EROSION CONTROL PLAN

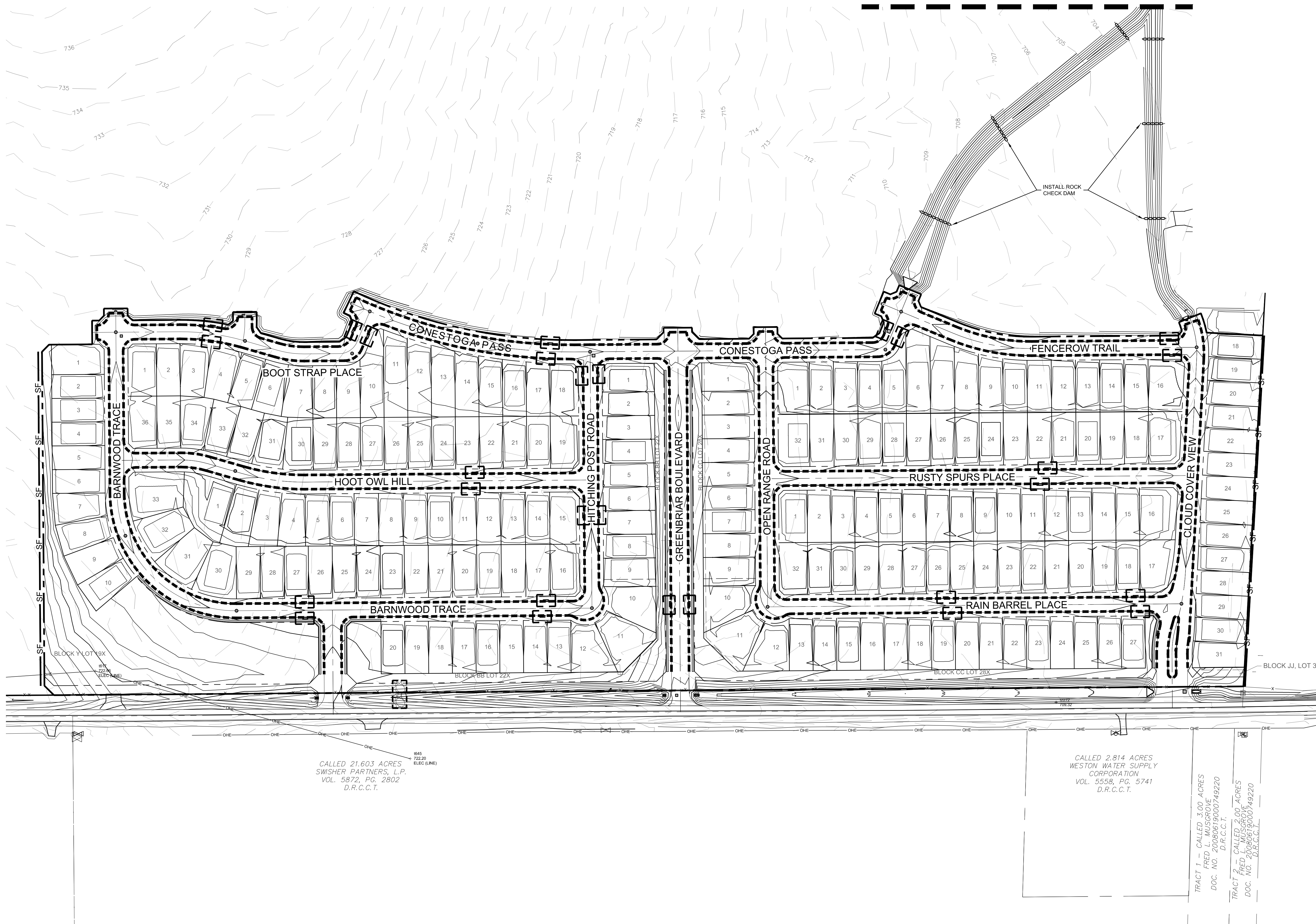
WESTON, COLLIN COUNTY, TEXAS

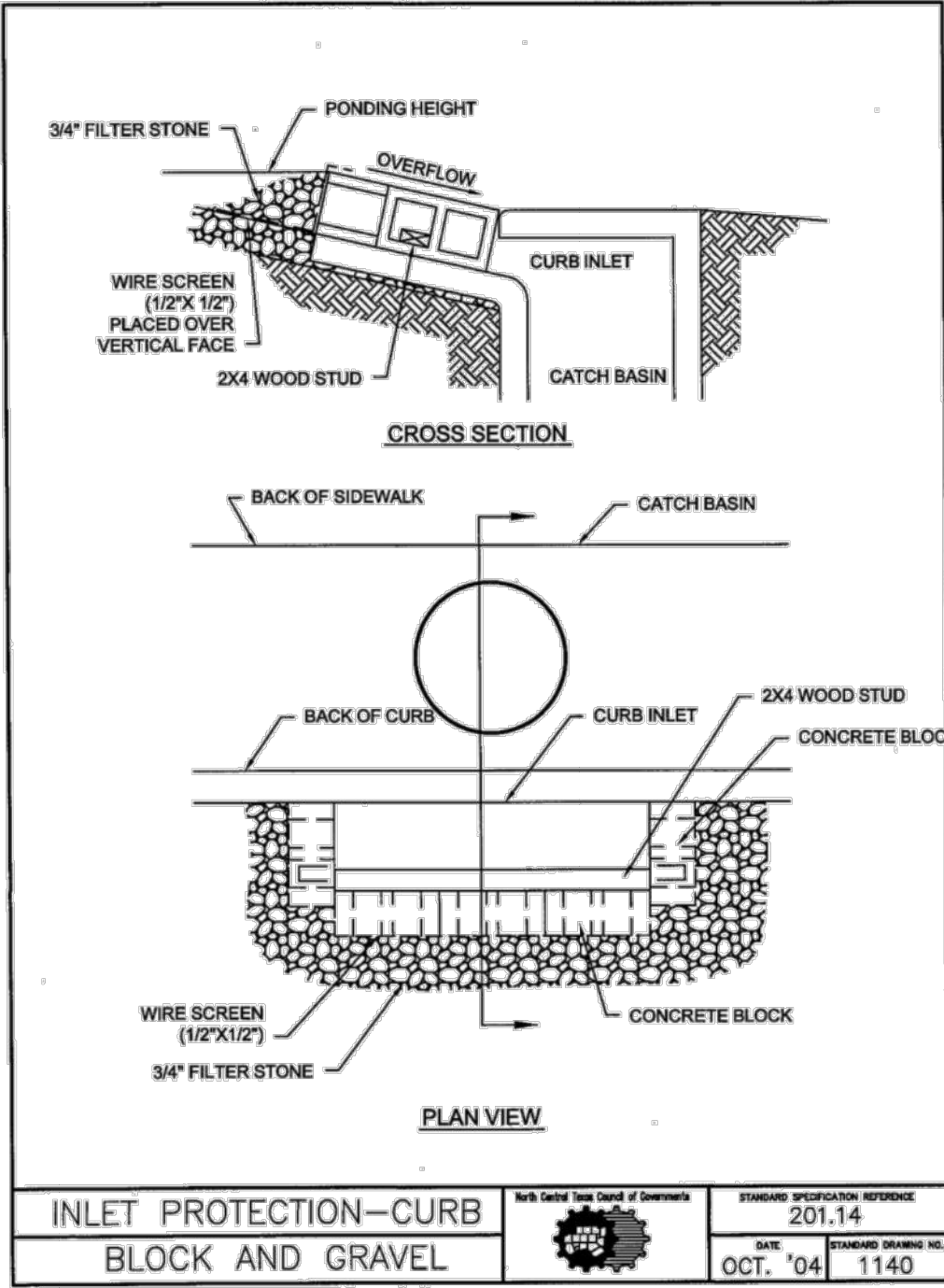
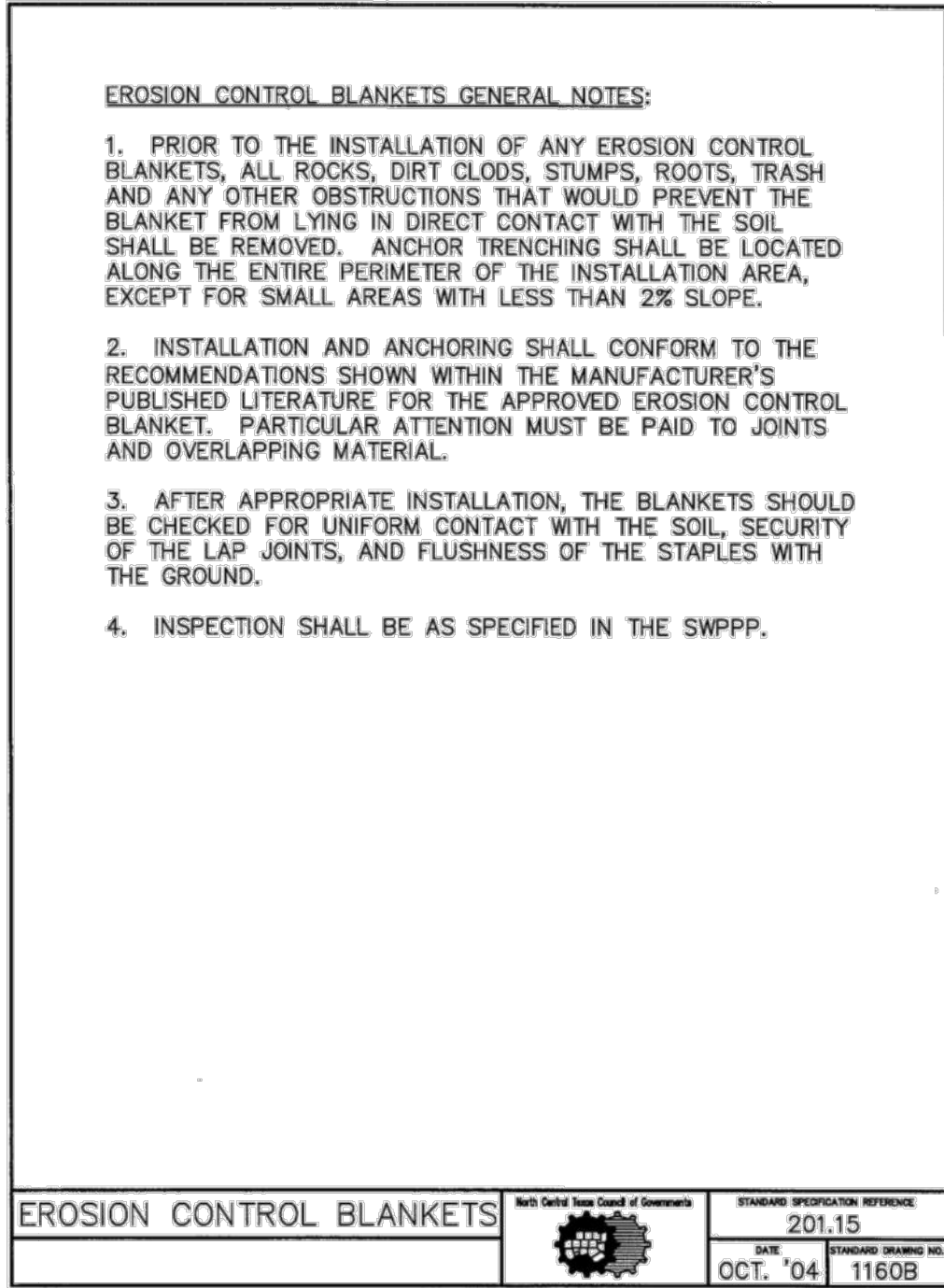
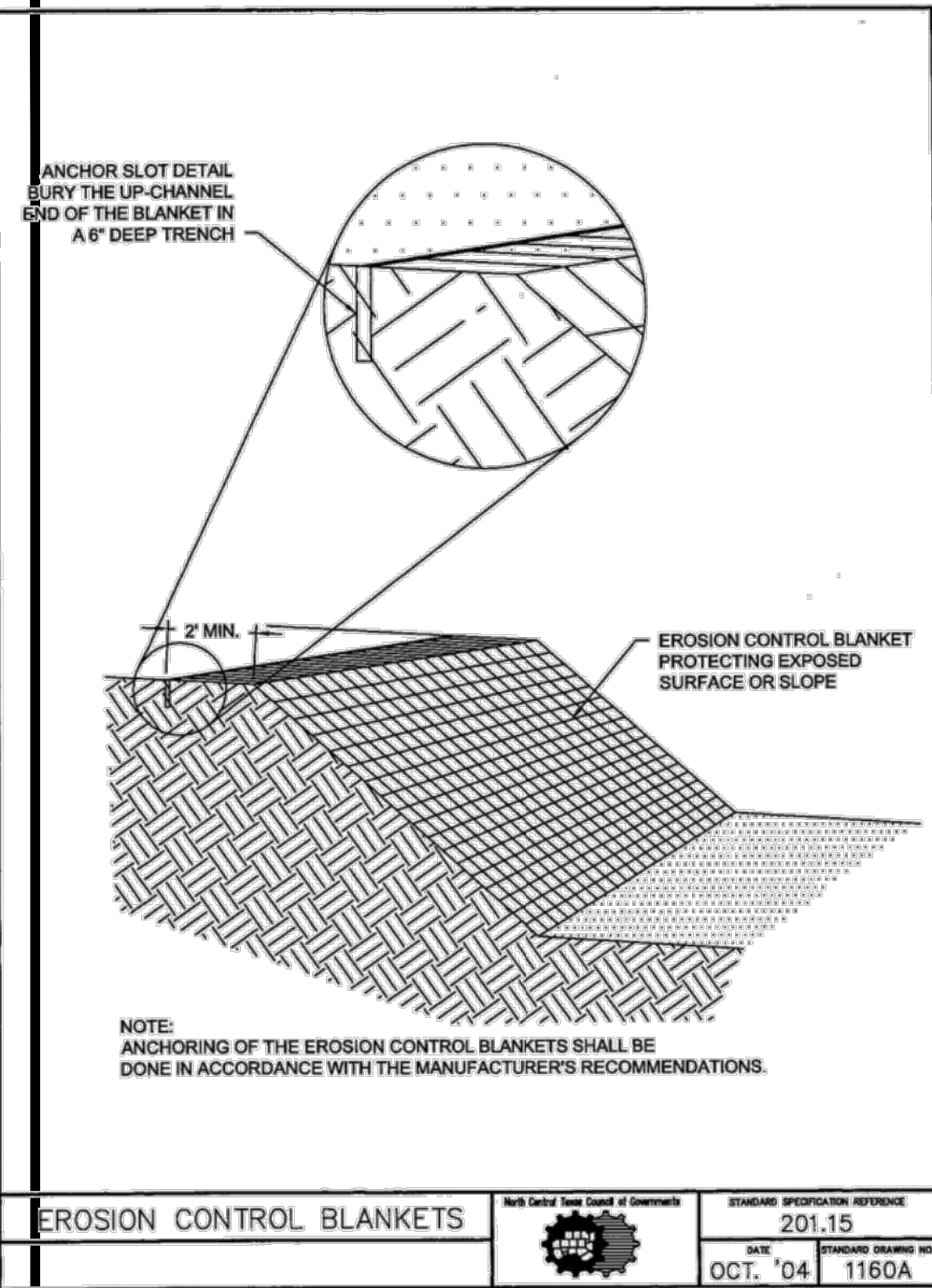


TEXAS REGISTRATION ENGINEERING FIRM NO. 12207
11000 FRISCO STREET, SUITE 400, FRISCO, TEXAS 75033
FRISCO OFFICE PHONE: (469) 213-1800

DRAWN: MCM	DATE	PROJECT #	SHEET
DESIGNED: MCM	DECEMBER 2020	LEN20001	3.01
REVIEWER: JWR			

SEE SHEET 2.04 FOR EROSION
CONTROL PROTECTION PLAN
FOR BORROW SITE





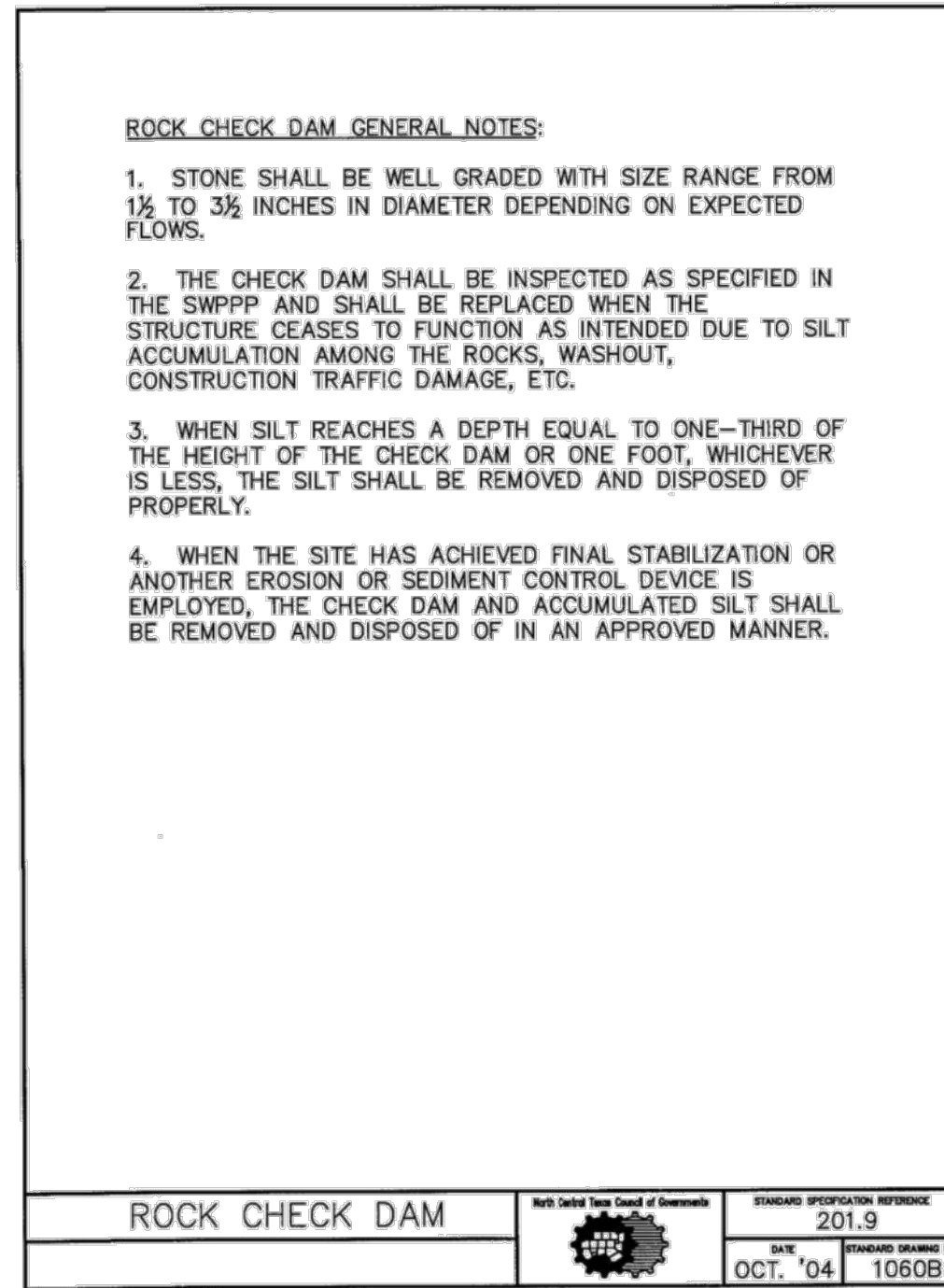
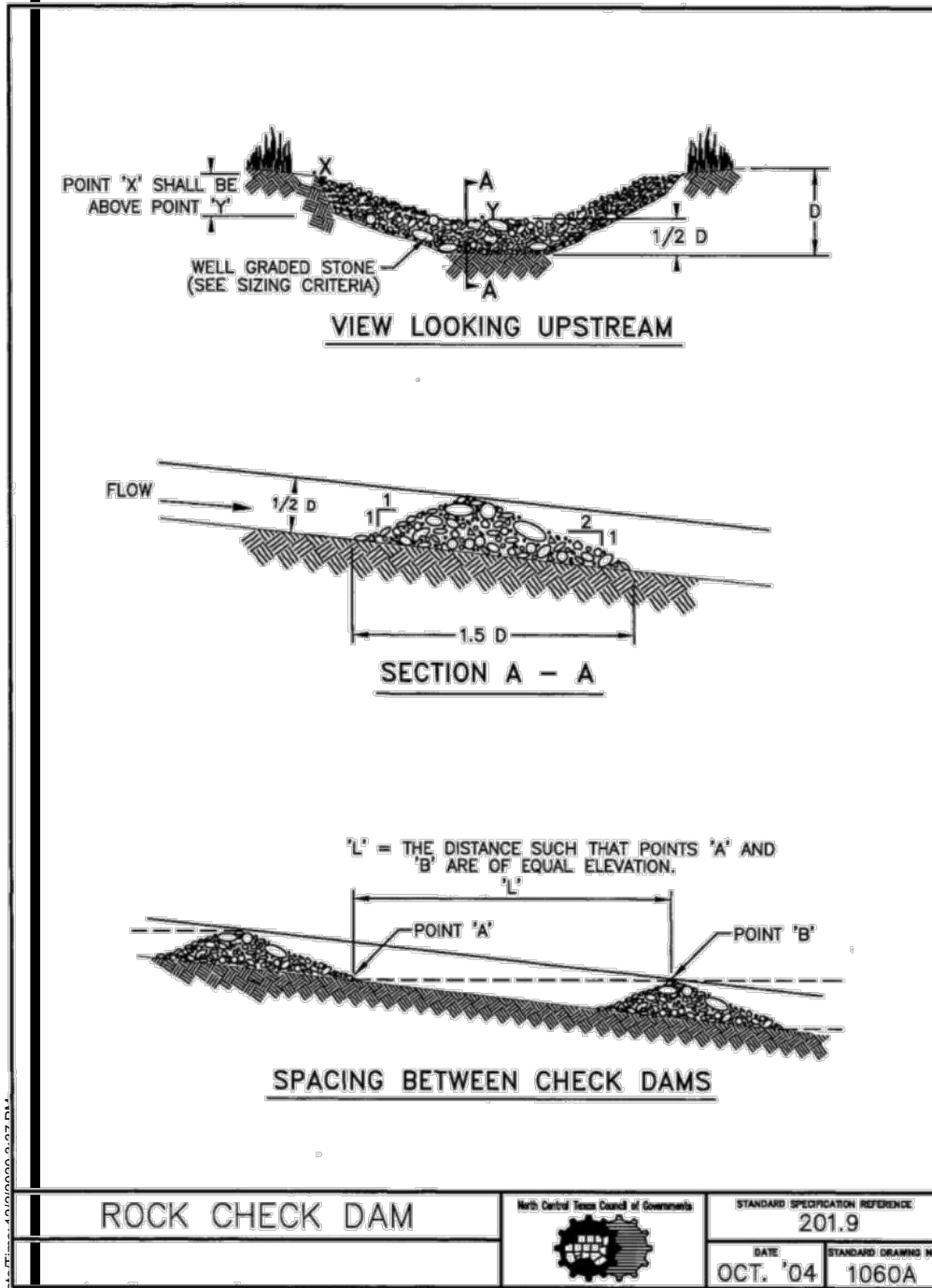
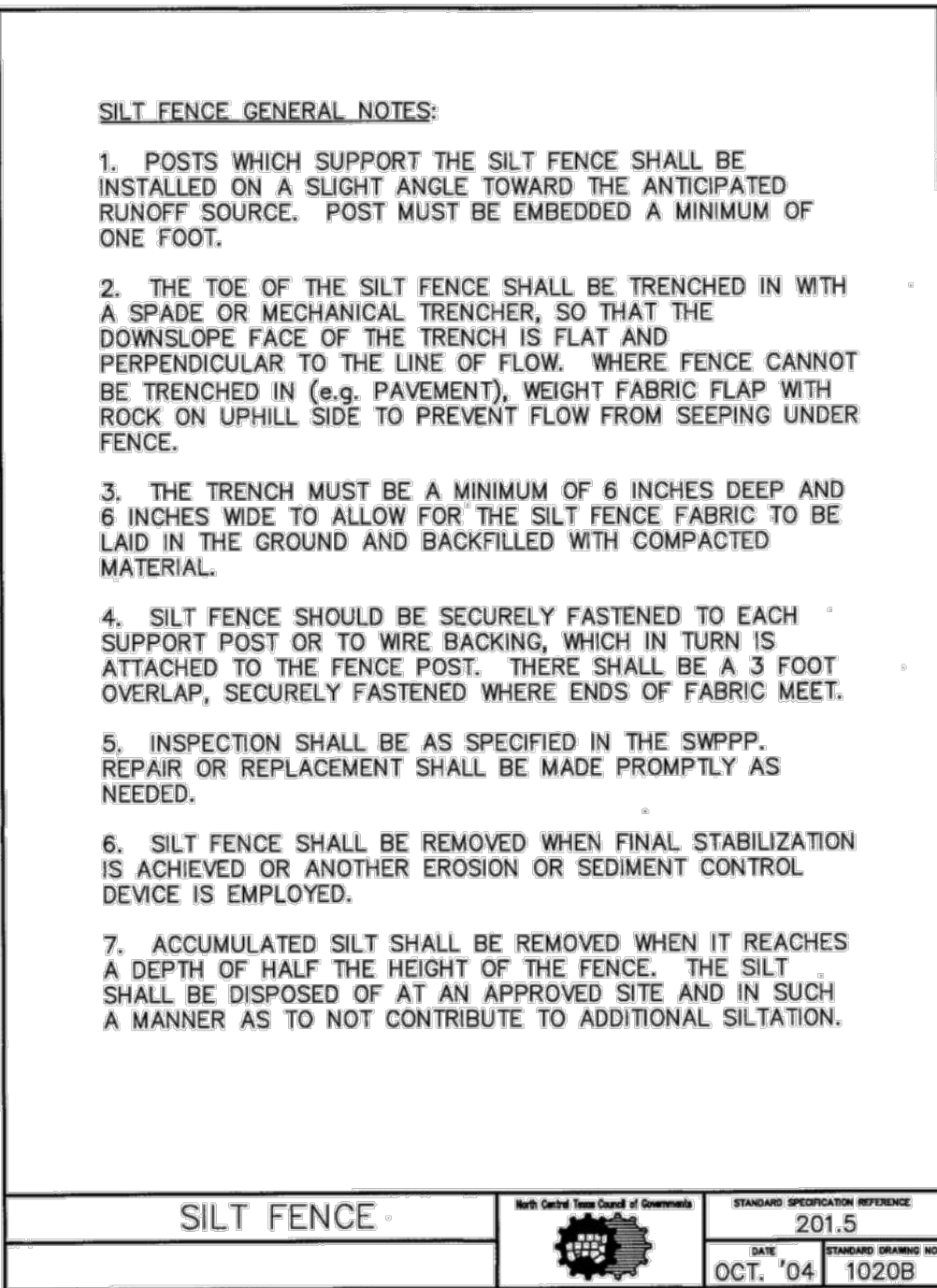
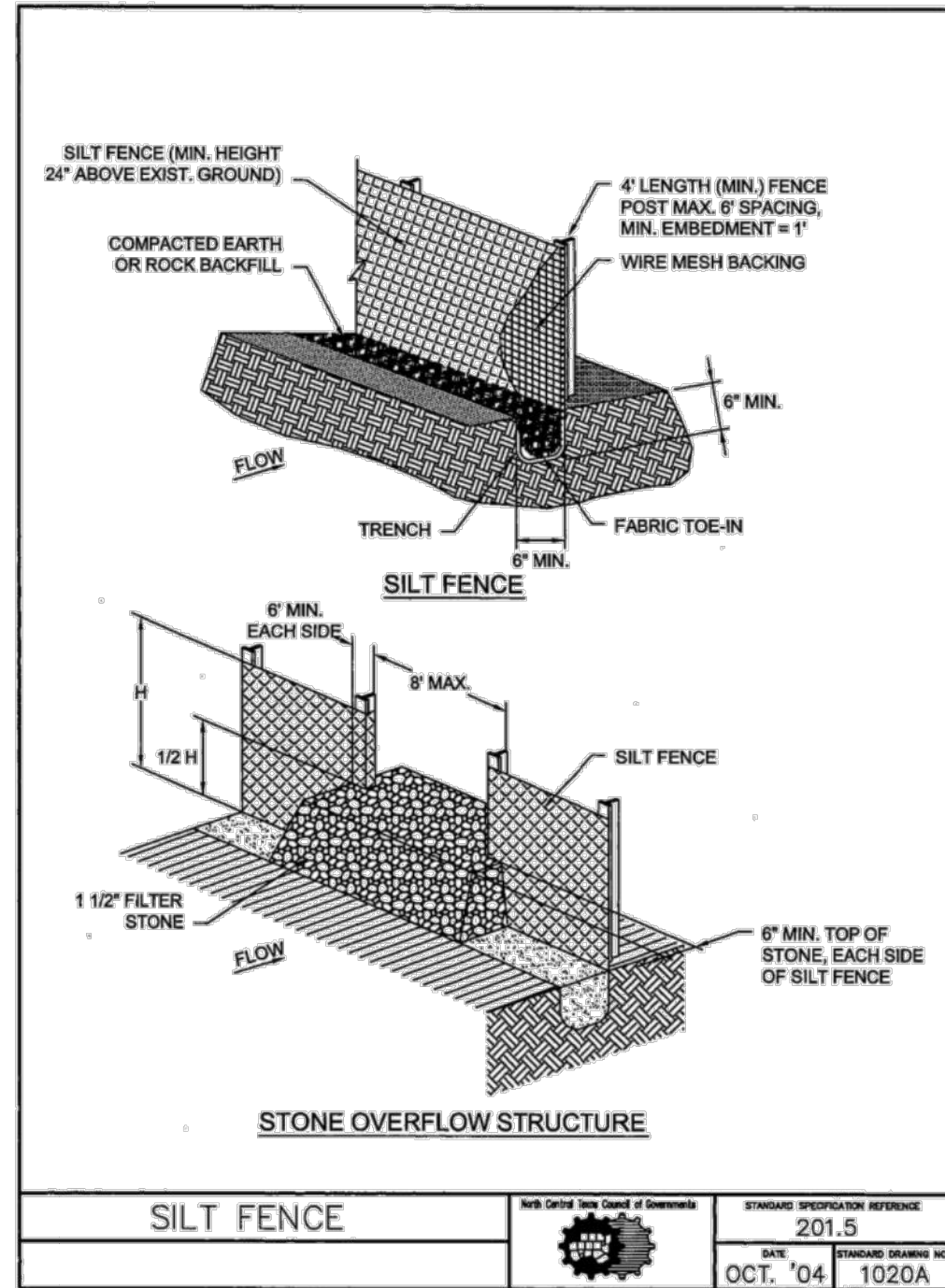
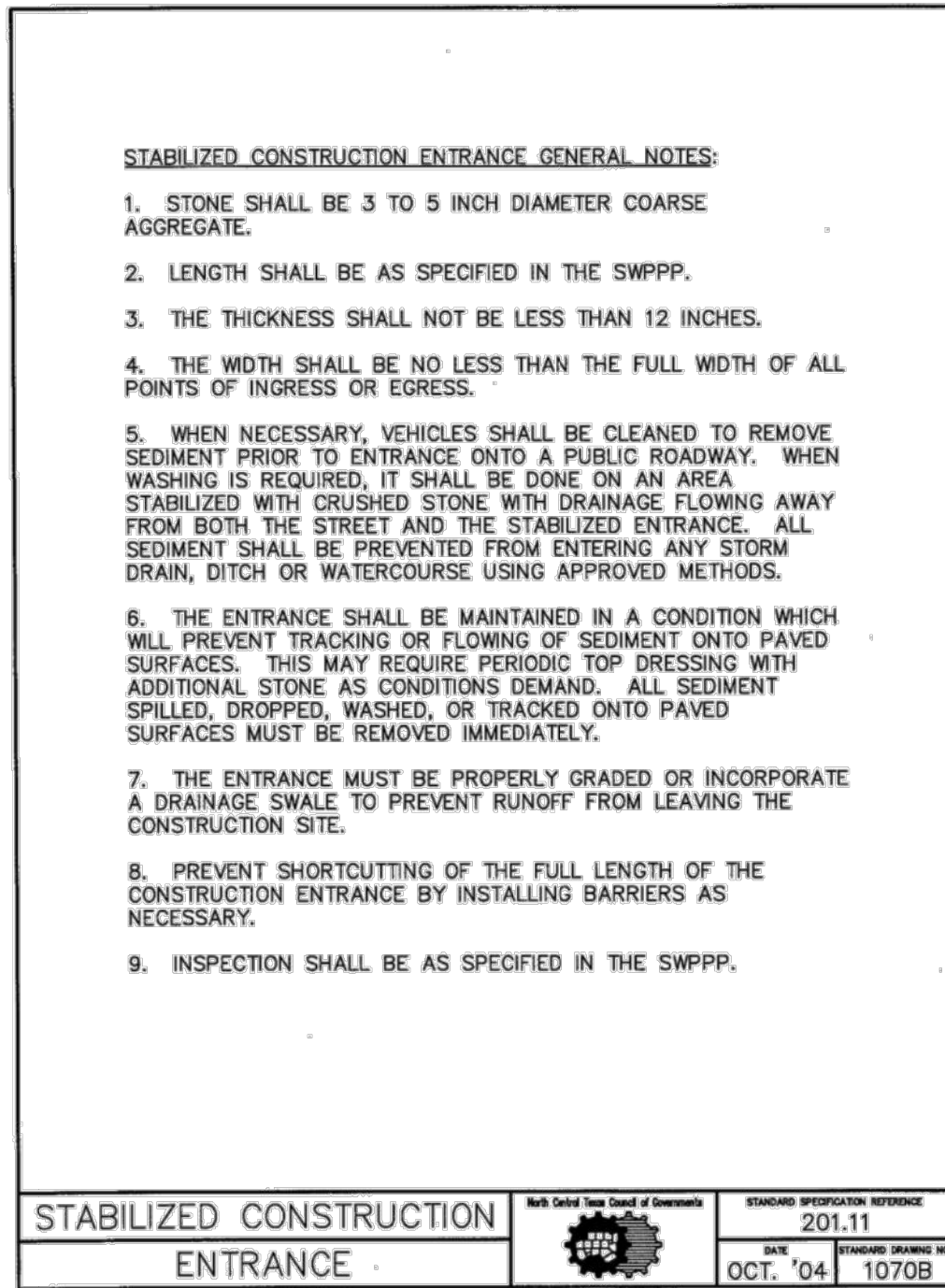
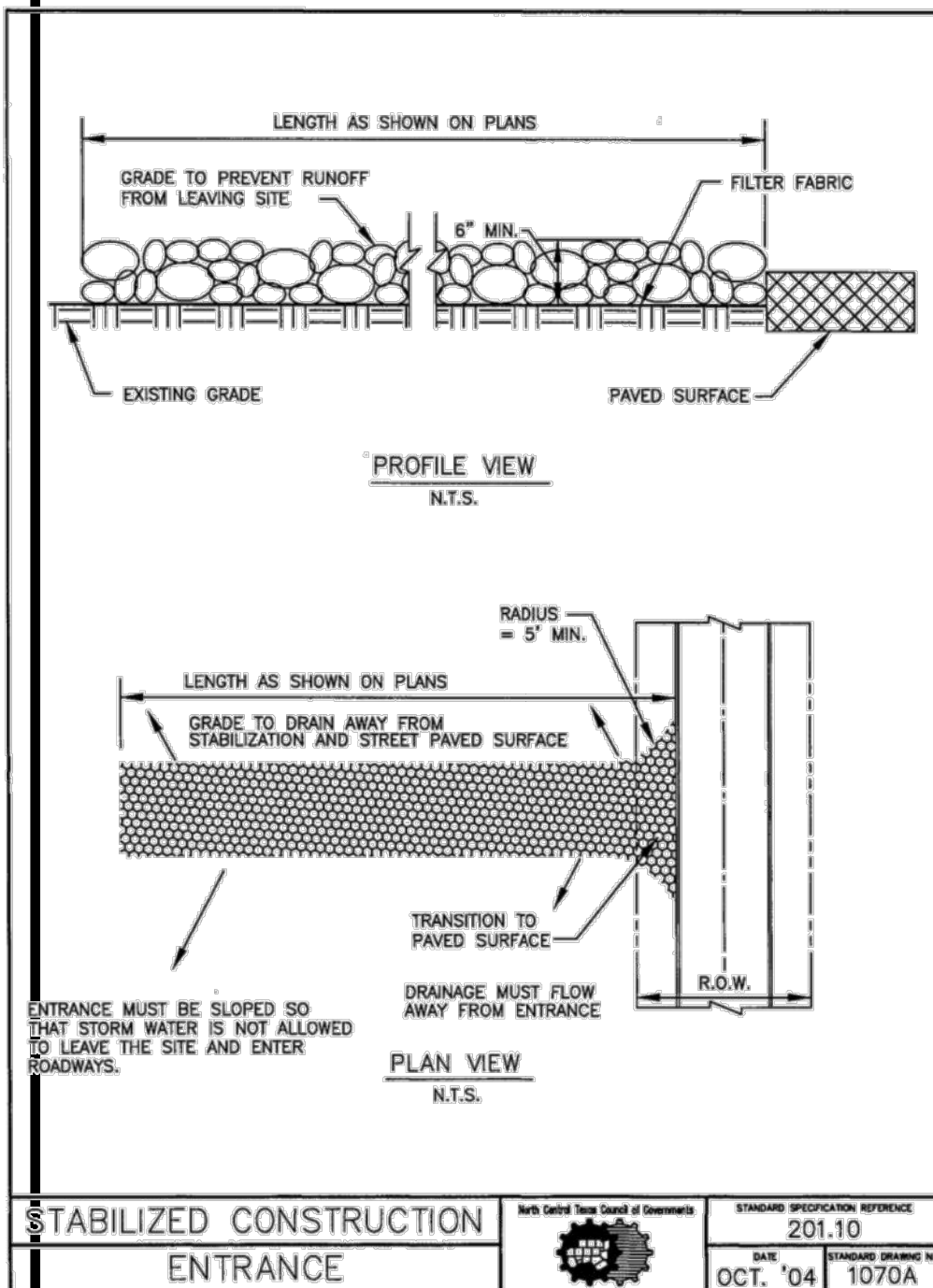
NOTE: THE CONTRACTOR SHALL CONTACT THE FOLLOWING
AT LEAST 48 HOURS PRIOR TO EXCAVATING IN THIS AREA:

TEXAS 811	1-800-344-8377
ATMOS GAS	972-881-4161
TXU ELECTRIC DELIVERY	1-800-711-9112
WESTON WATER SUPPLY	972-382-2245
NORTH COLLIN SUD	972-837-2331

CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES
VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION.

GENERAL NOTES FOR THE EROSION CONTROL PLAN:

1. All operators and/or contractors shall conform to the terms and conditions of the Texas Pollutant Discharge Elimination Systems (TPDES) General Permit as published by the Texas Commission on Environmental Quality (TCEQ).
2. The Notice of Intent (NOI), as required by the General Permit, must be properly displayed on site at all times by each operator.
3. All releases of reportable quantities of hazardous substances shall be reported immediately to the facility operator and EPA.
4. The Contractor shall inspect the site at least once every fourteen days and within 24 hours of a 1/2-inch or greater rainfall event. The Contractor shall document the results. Copies of the inspection reports shall accompany the Contractor's monthly pay request. The Contractor shall not be paid until said reports are presented to the Owner/Owner's Representative. The Earthwork Contractor shall be responsible for inspection until the Utility Contractor begins his work. The Utility Contractor shall be responsible for inspections until the Paving Contractor begins his work. The Paving Contractor shall be responsible for inspections until the Earthwork Contractor begins lot benching operations. The Earthwork Contractor shall make remaining inspections until project is accepted by the City.
5. Modifications to the Storm Water Pollution Prevention Plan shall be implemented and be in-place within a seven calendar day period.
6. If any contractor sees a violation by an operator or another contractor, he shall notify the operator and contractor in violation, as well as the facility operator.
7. Erosion control shall be installed prior to any grading.
8. Accumulated silt deposits shall be removed from silt fences and hay bale dikes when silt depth reaches six inches. Removal of silt deposits by the contractor shall be incidental to the performance of the contract and a separate bid item shall not be included.
9. The contractor shall add or delete erosion protection at the request and direction of the Operator or the City.
10. After installation of pavement, final lot benching and general cleanup, the grass groundcover shall be established in all street parkways, lots and all other disturbed areas. Materials shall be as specified in Item 2.15 and seeding shall be in accordance with Item 3.10 of the NCTCOG Standard Specifications. Depending upon schedule for house construction, grass establishment may be waived on a single lot basis if house construction begins immediately on that lot.
11. It shall be the contractor's responsibility to control and limit silt and sediment leaving the site. Specifically, the contractor shall protect all public streets, alleys, streams and storm drainage systems from erosion deposits.
12. If any erosion control is removed for construction and/or access purposes, the contractor shall replace it at the end of the work day.
13. It shall be the contractor's responsibility to provide a dumpster (or equal) to collect solid waste materials during construction.



BENCHMARKS

BM #1 - "X" CUT ON HEADWALL ON
THE EAST SIDE OF FM 543.
APPROX. 62' SOUTH OF THE
CENTERLINE OF RIGSBY LANE
ELEVATION = 745.65

BM #2 - "X" CUT ON HEADWALL ON
THE WEST SIDE OF FM 543.
APPROXIMATELY 2.946' NORTH OF
THE CENTERLINE OF CR 206
ELEVATION = 733.37

BM #3 - "X" CUT ON HEADWALL AT
THE SOUTHEAST CORNER OF THE
INTERSECTION OF FM 543 AND CR
206
ELEVATION = 717.56

NO.	DATE	REVISION

VENETIAN AT WESTON, PHASE 1

EROSION CONTROL DETAILS

WESTON, COLLIN COUNTY, TEXAS



TEXAS REGISTRATION ENGINEERING FIRM NO. 12307
11000 FRISCO STREET, SUITE 400, FRISCO, TEXAS 75033
FRISCO OFFICE PHONE: (469) 213-1800

DRAWN: MCM	DATE	PROJECT #	SHEET
DESIGNED: MCM	DECEMBER 2020	LEN20001	3.02
REVIEWER: JWR			