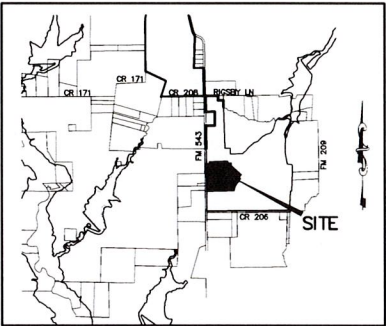


CONSTRUCTION PLANS
FOR
WESTON TRAILS, PHASE 1
CITY OF WESTON
COLLIN COUNTY, TEXAS

TIA ?
• impact on adjacent roadways ?
• Geotech report ?
• Water model - need
1000 gpm for 2 hours
(houses less than 3600 SF)
and need to make sure
future phases have
same water



LOCATION MAP
NTS

This document is released
for the purpose of interim
review under the authority of
Joshua A. Luke, P.E. 103636
on 7/2/2019. It is not to
be used for construction or
permitting purposes.

OWNERS:

HONEY CREEK PARTNERS, L.P.
4265 KELLWAY CIRCLE
ADDISON, TEXAS 75001
(972) 239-0707

WESTIN-LAND, LTD.

4265 KELLWAY CIRCLE
ADDISON, TEXAS 75001

DEVELOPER:

D.R. HORTON-TEXAS, LTD.
4306 MILLER ROAD, SUITE A
ROWLETT, TEXAS 75088
(214) 607-4244

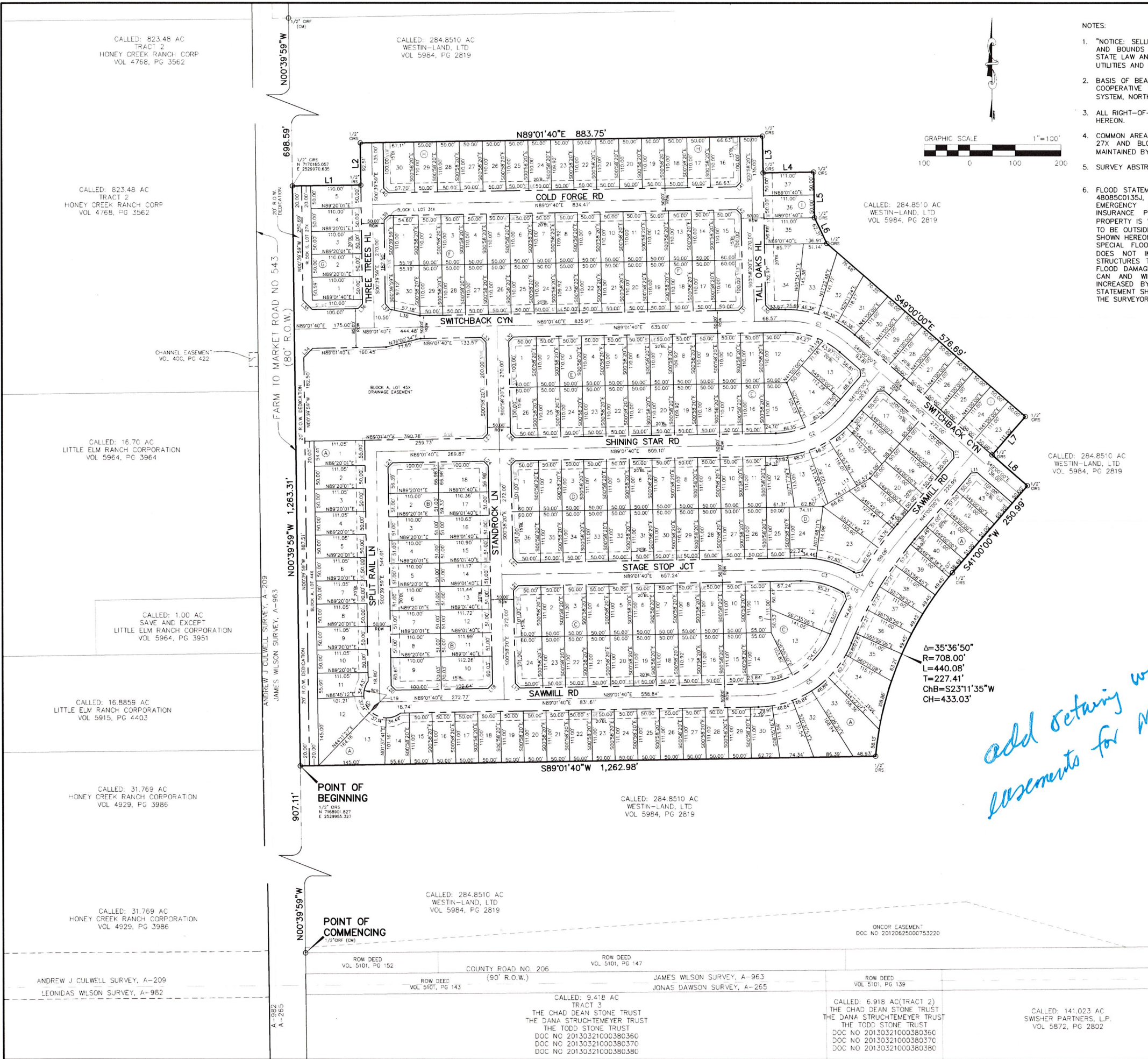
ENGINEER:

JB PARTNERS, INC.
2121 MIDWAY ROAD, SUITE 300
CARROLLTON, TEXAS 75006
(972) 248-7676

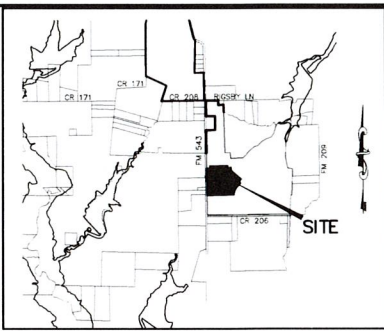
Texas Registered Engineering Firm F-438
TBPLS No. 10076000

WESTON TRAILS, PHASE 1
INDEX

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03	PAVING PLAN - F.M. 543 RIGHT TURN LANE
04	PAVING PLAN & PROFILE - SWITCHBACK CYN (STA: START-13+50)
05	PAVING PLAN & PROFILE - SWITCHBACK CYN (STA: 13+50-END)
06	PAVING PLAN & PROFILE - THREE TREES HL & TEMPORARY ACCESS ROAD
07	PAVING PLAN & PROFILE - STANDROCK LN
08	PAVING PLAN & PROFILE - TALL OAKS HL
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10	PAVING PLAN & PROFILE - SPLIT RAIL LA
11	PAVING PLAN & PROFILE - SAWMILL RD (STA: START-8+50)
12	PAVING PLAN & PROFILE - SAWMILL RD (STA: 8+50-END)
13	PAVING PLAN & PROFILE - STAGE STOP JCT
14	PAVING PLAN & PROFILE - COLD FORGE RD
15	PAVING PLAN & PROFILE - BLACKSMITH GRN - FOR GRADING ONLY
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56	SIDEWALK PLAN
DET	MISCELLANEOUS DETAILS



- NOTES:
1. "NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS."
 2. BASIS OF BEARING IS DERIVED FROM THE TEXAS WDS RTK COOPERATIVE NETWORK-TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NAD83.
 3. ALL RIGHT-OF-WAYS ARE 50' UNLESS OTHERWISE INDICATED HEREON.
 4. COMMON AREAS BLOCK A, LOTS 44X & 45X, BLOCK G, LOT 27X AND BLOCK I, LOT 31X ARE TO BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
 5. SURVEY ABSTRACT LINES SHOWN ARE APPROXIMATE
 6. FLOOD STATEMENT: ACCORDING TO COMMUNITY PANEL NO. 48085C0135J, DATED JUNE 2, 2009 OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM MAP, EXCEPT AS SHOWN, THIS PROPERTY IS WITHIN FLOOD ZONE "X". (AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN) AND ZONE AE, AS SHOWN HEREON. IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.



LEGEND

CIRP	CAPPED IRON ROD FOUND
CIRS	CAPPED IRON ROD SET
CM	CONTROL MONUMENT
ROW	RIGHT-OF-WAY
UE	UTILITY EASEMENT
WE	WATER EASEMENT
WVE	WALL MAINTENANCE EASEMENT
B	BUILDING LINE
C.P.R.C.C.T.	OFFICIAL PUBLIC RECORDS COLLIN COUNTY, TEXAS
CYN	CANYON
HL	HILL
JCT	JUNCTION
LN	LANE
RD	ROAD
	STREET NAME CHANGE INDICATOR

CURVE TABLE

NO.	LENGTH	DELTA	RADIUS	TANGENT	CHORD BEARING	CHORD
C1	146.51'	041°58'20"	200.00'	76.72'	N69°59'10"W	143.26'
C2	167.65'	048°01'40"	200.00'	89.10'	N65°00'50"E	162.78'
C3	108.81'	031°10'19"	200.00'	55.79'	N75°23'10"W	107.47'
C4	273.77'	018°35'06"	844.00'	136.10'	S31°42'27"W	272.57'
C5	232.52'	086°36'47"	200.00'	131.41'	N55°43'17"E	219.65'
C6	143.16'	164°02'44"	50.00'	356.80'	S45°49'09"E	99.03'

LINE TABLE		LINE TABLE		LINE TABLE	
NO.	BEARING	LENGTH	NO.	BEARING	LENGTH
L1	N89°20'01"E	150.00'	L17	N45°58'20"W	14.14'
L2	N00°39'59"W	92.51'	L18	N44°01'40"E	14.14'
L3	S00°58'20"E	80.37'	L19	S44°10'51"W	21.27'
L4	N89°01'40"E	111.00'	L20	N45°49'09"W	14.10'
L5	S00°58'20"E	100.00'	L21	N44°01'40"E	14.14'
L6	S25°32'57"E	62.31'	L22	N45°58'20"W	14.14'
L7	S41°00'00"W	111.00'	L23	N44°10'51"E	14.18'
L8	S49°00'00"E	101.81'	L24	S45°58'20"E	14.14'
L9	S86°00'00"W	14.14'	L25	N44°01'40"E	14.14'
L10	N04°00'00"W	14.14'	L26	N45°58'20"W	14.14'
L11	N59°00'55"E	119.45'	L27	S44°01'40"W	14.14'
L12	N76°11'20"E	14.38'	L28	N86°00'00"E	14.14'
L13	N59°48'01"W	39.93'	L29	S04°00'00"E	14.14'
L14	N15°47'22"W	14.38'	L30	N45°58'20"W	14.14'

RECORD PLAT
WESTON TRAILS, PHASE 1
216 LOTS
BEING 41.968 ACRES OUT OF THE
JAMES WILSON SURVEY, ABSTRACT NO. 963

D.R. HORTON-TEXAS, LTD. DEVELOPER
4306 Miller Road, Suite A (214) 607-4244
Rowlett, Texas 75088
Contact: David L. Booth
HONEY CREEK PARTNERS, L.P. OWNER
4265 Kellway Circle (972) 239-0707
Addison, Texas 75001
WESTIN-LAND, LTD. OWNER
4265 Kellway Circle
Addison, Texas 75001
JBI PARTNERS, INC. SURVEYOR/ENGINEER
2121 Midway Road, Suite 300 (972) 248-7676
Carrollton, Texas 75006
Contact: Joshua Luke, P.E.
TBPE No. F-438 TBPLS No. 10076000

Revised: June 13, 2019
Submitted: April 23, 2019
Sheet 1 of 2

OWNER'S CERTIFICATE

STATE OF TEXAS §

COLLIN COUNTY §

BEING a parcel of land located in the City of Weston, Collin County, Texas, being a part of the James Wilson Survey, Abstract Number 963, and also being a part of that called 284.8510 acre tract of land described in a Limited Warranty Deed to Westin-Land, Ltd., as recorded in Volume 5984, Page 2819, Deed Records, Collin County, Texas, and being further described as follows:

COMMENCING at a one-half inch iron rod with yellow cap stamped 'JBI' found at the southwest corner of said 284.8510 acre tract, said point being the northwest corner of that tract of land described in a Deed to the County of Collin, as recorded in Volume 5101, Page 152, Deed Records, Collin County, Texas, said point also being in the east right-of-way line of Farm-To-Market Road 543 (an 80 foot right-of-way);

THENCE along the west line of said 284.8510 acre tract and along the east right-of-way line of Farm-To-Market Road 543 as follows:

North 00 degrees 39 minutes 59 seconds West, 907.11 feet to a one-half inch iron rod with yellow cap stamped 'JBI' set for corner, said point being the POINT OF BEGINNING;

North 00 degrees 39 minutes 59 seconds West, 1,263.31 feet to a one-half inch iron rod with yellow cap stamped 'JBI' set for corner, from which said iron rod set bears North 00 degrees 39 minutes 59 seconds West, 698.59 feet to a one-half inch iron rod with yellow cap stamped 'JBI' found at the northwest corner of said 284.8510 acre tract;

THENCE North 89 degrees 20 minutes 01 seconds East, 150.00 feet to a one-half inch iron rod with yellow cap stamped 'JBI' set for corner;

THENCE North 00 degrees 39 minutes 59 seconds West, 92.51 feet to a one-half inch iron rod with yellow cap stamped 'JBI' set for corner;

THENCE North 89 degrees 01 minutes 40 seconds East, 883.75 feet to a one-half inch iron rod with yellow cap stamped 'JBI' set for corner;

THENCE South 00 degrees 58 minutes 20 seconds East, 80.37 feet to a one-half inch iron rod with yellow cap stamped 'JBI' set for corner;

THENCE North 89 degrees 01 minutes 40 seconds East, 111.00 feet to a one-half inch iron rod with yellow cap stamped 'JBI' set for corner;

THENCE South 00 degrees 58 minutes 20 seconds East, 100.00 feet to a one-half inch iron rod with yellow cap stamped 'JBI' set for corner;

THENCE South 25 degrees 32 minutes 57 seconds East, 62.31 feet to a one-half inch iron rod with yellow cap stamped 'JBI' set for corner;

THENCE South 49 degrees 00 minutes 00 seconds East, 576.69 feet to one-half inch iron rod with yellow cap stamped 'JBI' set for corner;

THENCE South 41 degrees 00 minutes 00 seconds West, 111.00 feet to a one-half inch iron rod with yellow cap stamped 'JBI' set for corner;

THENCE South 49 degrees 00 minutes 00 seconds East, 101.81 feet to a one-half inch iron rod with yellow cap stamped 'JBI' set for corner;

THENCE South 41 degrees 00 minutes 00 seconds West, 250.99 feet to a one-half inch iron rod with yellow cap stamped 'JBI' set for corner;

THENCE Southwesterly, 440.08 feet along curve to the left having a central angle of 35 degrees 36 minutes 50 seconds, a radius of 708.00 feet , a tangent of 227.41 feet, and whose chord bears South 23 degrees 11 minutes 35 seconds West, 433.03 feet to a one-half inch iron rod with yellow cap stamped 'JBI' set for corner;

THENCE South 89 degrees 01 minutes 40 seconds West, 1262.98 feet to the POINT OF BEGINNING and containing 1,828,126 square feet or 41.968 acres of land.

DEDICATION STATEMENT

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS;

That D.R. HORTON - TEXAS, LTD., acting herein by and through its duly-authorized officers, does hereby adopt this plat designating the herein above described property as **WESTON TRAILS, PHASE 1**, an addition to the City of Weston, Collin County, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, alleys, and public use areas shown hereon, and does hereby dedicate the easements shown on the plat for the purposes indicated to the public use forever, said dedications being free and clear of all liens and encumbrances, except as shown herein. No buildings, fences, trees, shrubs, or other improvements shall be constructed or placed upon, over, or across the easements on said plat. Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to a particular utility or utilities, said use by public utilities being subordinate to the public's and City of Weston's use thereof. The City of Winston and any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on any of these easements and the City of Winston or any public utility shall at all times have the right of ingress and egress to and from and upon any of said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or part of its respective system without the necessity at any time of procuring the permission of anyone.

D.R. HORTON - TEXAS, LTD., does hereby bind itself, its successors and assigns to forever warrant and defend, all and singular, the above-described streets, alleys, easements and rights unto the public, against every person whomsoever lawfully claiming or to claim the same or any part thereof.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Winston.

WITNESS MY HAND THIS ____ DAY OF _____, 2019.

David L. Booth,
an Authorized Agent for D.R. Horton - Texas, Ltd.

STATE OF TEXAS §

COUNTY OF _____ §

Before me, the undersigned authority, a Notary Public in and for the said County and State on this day personally appeared David L. Booth, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated..

Given under my hand and seal of office, this ____ day of _____, 2019.

Notary Signature

SURVEYOR'S CERTIFICATE §

KNOW ALL MEN BY THESE PRESENTS:

That I, Mark W. Harp, RPLS, do hereby certify that I prepared this plot from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Weston.

Dated this the ____ day of _____, 2019.

"PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT."

Mark W. Harp, R.P.L.S. No. 6425



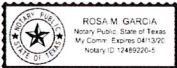
STATE OF TEXAS §

COUNTY OF _____ §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Mark W. Harp, Land Surveyor, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office this ____ day of _____, 2019.

Notary Public in and for the State of Texas



"PRELIMINARY PLAN FOR REVIEW PURPOSES ONLY"

"Recommended For Approval"

Chairman, Planning and Zoning Commission Date
City of Weston,
Collin County, Texas

"Approved For Preparation of Final Plat"

Mayor Date
City of Weston,
Collin County, Texas

RECORD PLAT

WESTON TRAILS, PHASE 1

216 LOTS
BEING 41.968 ACRES OUT OF THE
JAMES WILSON SURVEY, ABSTRACT NO. 963

CITY OF WESTON,
COLLIN COUNTY, TEXAS

D.R. HORTON-TEXAS, LTD. DEVELOPER

4306 Miller Road, Suite A (214) 607-4244
Rowlett, Texas 75088
Contact: David L. Booth

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JBI PARTNERS, INC. SURVEYOR/ENGINEER

2121 Midway Road, Suite 300 (972)248-7676
Carrollton, Texas 75006
Contact: Joshua Luke, P.E.
TBPE No. F-438 TBPLS No. 10076000

Revised: June 13, 2019
Submitted: April 23, 2019

Sheet 2 of 2

LOT AREA TABLE			LOT AREA TABLE			LOT AREA TABLE			LOT AREA TABLE			LOT AREA TABLE			LOT AREA TABLE			LOT AREA TABLE			LOT AREA TABLE			LOT AREA TABLE			LOT AREA TABLE			LOT AREA TABLE		
BLOCK-LOT	SQUARE FEET	ACRES	BLOCK-LOT	SQUARE FEET	ACRES	BLOCK-LOT	SQUARE FEET	ACRES	BLOCK-LOT	SQUARE FEET	ACRES	BLOCK-LOT	SQUARE FEET	ACRES	BLOCK-LOT	SQUARE FEET	ACRES	BLOCK-LOT	SQUARE FEET	ACRES	BLOCK-LOT	SQUARE FEET	ACRES	BLOCK-LOT	SQUARE FEET	ACRES	BLOCK-LOT	SQUARE FEET	ACRES	BLOCK-LOT	SQUARE FEET	ACRES
A-1	6,075	0.139	A-23	5,550	0.127	A-45X	83,925	1.927	C-4	5,550	0.127	D-2	5,550	0.127	D-24	7,306	0.168	E-10	5,500	0.126	F-6	5,500	0.126	F-28	5,500	0.126	H-28	5,500	0.126			
A-2	5,553	0.127	A-24	5,550	0.127	B-1	7,286	0.167	C-5	5,550	0.127	D-3	5,550	0.127	D-25	5,550	0.127	E-11	5,500	0.126	F-7	5,500	0.126	F-29	5,500	0.126	H-29	5,500	0.126			
A-3	5,553	0.127	A-25	5,550	0.127	B-2	5,610	0.129	C-6	5,550	0.127	D-4	5,550	0.127	D-26	5,550	0.127	E-12	10,239	0.235	F-8	5,500	0.126	F-30	5,744	0.132	H-30	7,365	0.169			
A-4	5,553	0.127	A-26	5,550	0.127	B-3	5,610	0.129	C-7	5,550	0.127	D-5	5,550	0.127	D-27	5,550	0.127	E-13	8,479	0.195	F-9	5,500	0.126	F-31X	3,997	0.092	I-23	5,550	0.127			
A-5	5,553	0.127	A-27	5,550	0.127	B-4	5,610	0.129	C-8	5,550	0.127	D-6	5,550	0.127	D-28	5,550	0.127	E-14	8,191	0.188	F-10	5,500	0.126	G-1	5,532	0.127	I-24	5,550	0.127			
A-6	5,553	0.127	A-28	5,550	0.127	B-5	5,610	0.129	C-9	5,550	0.127	D-7	5,550	0.127	D-29	5,550	0.127	E-15	7,615	0.175	F-11	5,500	0.126	G-2	5,500	0.126	I-25	5,550	0.127			
A-7	5,553	0.127	A-29	5,550	0.127	B-6	5,610	0.129	C-10	5,550	0.127	D-8	5,550	0.127	D-30	5,550	0.127	E-16	5,500	0.126	F-12	5,500	0.126	G-3	5,500	0.126	I-26	5,550	0.127			
A-8	5,553	0.127	A-30	6,158	0.141	B-7	5,610	0.129	C-11	6,105	0.140	D-9	5,550	0.127	D-31	5,550	0.127	E-17	5,500	0.126	F-13	5,500	0.126	G-4	5,500	0.126	I-27	5,550	0.127			
A-9	5,553	0.127	A-31	7,220	0.166	B-8	5,610	0.129	C-12	13,306	0.305	D-10	5,550	0.127	D-32	5,550	0.127	E-18	5,500	0.126	F-14	5,500	0.126	G-5	5,500	0.126	I-28	5,550	0.127			
A-10	5,553	0.127	A-32	9,244	0.212	B-9	7,685	0.176	C-13	10,078	0.231	D-11	5,550	0.127	D-33	5,550	0.127	E-19	5,500	0.126	F-15	6,550	0.150	G-27X	7,363	0.169	I-29	5,550	0.127			
A-11	5,672	0.130	A-33	11,718	0.269	B-10	7,824	0.180	C-14	8,587	0.197	D-12	6,135	0.141	D-34	5,550	0.127	E-20	5,500	0.126	F-16	6,550	0.150	H-16	7,280	0.167	I-30	5,550	0.127			
A-12	10,023	0.230	A-34	10,674	0.245	B-11	5,718	0.131	C-15	5,550	0.127	D-13	7,291	0.167	D-35	5,550	0.127	E-21	5,500	0.126	F-17	5,500	0.126	H-17	5,500	0.126	I-31	6,585	0.151			
A-13	10,019	0.230	A-35	6,410	0.147	B-12	5,704	0.131	C-16	5,550	0.127	D-14	7,201	0.165	D-36	6,610	0.152	E-22	5,500	0.126	F-18	5,500	0.126	H-18	5,500	0.126	I-32	7,665	0.176			
A-14	5,667	0.130	A-36	5,920	0.136	B-13	5,691	0.131	C-17	5,550	0.127	D-15	7,021	0.161	E-1	6,550	0.150	E-23	5,500	0.126	F-19	5,500	0.126	H-19	5,500	0.126	I-33	9,191	0.211			
A-15	5,550	0.127	A-37	5,920	0.136	B-14	5,677	0.130	C-18	5,550	0.127	D-16	6,027	0.138	E-2	5,500	0.126	E-24	5,500	0.126	F-20	5,500	0.126	H-20	5,500	0.126	I-34	11,053	0.254			
A-16	5,550	0.127	A-38	5,920	0.136	B-15	5,663	0.130	C-19	5,550	0.127	D-17	7,165	0.164	E-3	5,500	0.126	E-25	5,500	0.126	F-21	5,500	0.126	H-21	5,500	0.126	I-35	7,024	0.161			
A-17	5,550	0.127	A-39	5,920	0.136	B-16	5,649	0.130	C-20	5,550	0.127	D-18	7,165	0.164	E-4	5,500	0.126	E-26	6,550	0.150	F-22	5,500	0.126	H-22	5,500	0.126	I-36	5,550	0.127			
A-18	5,550	0.127	A-40	5,718	0.131	B-17	5,635	0.129	C-21	5,550	0.127	D-19	5,550	0.127	E-5	5,500	0.126	F-1	6,038	0.139	F-23	5,500	0.126	H-23	5,500	0.126	I-37	5,550	0.127			
A-19	5,550	0.127	A-41	5,661	0.130	B-18	7,330	0.168	C-22	5,550	0.127	D-20	5,550	0.127	E-6	5,500	0.126	F-2	5,500	0.126	F-24	5,500	0.126	H-24	5,500	0.126						
A-20	5,550	0.127	A-42	5,661	0.130	C-1	6,610	0.152	C-23	5,550	0.127	D-21	5,871	0.135	E-7	5,500	0.126	F-3	5,500	0.126	F-25	5,500	0.126	H-25	5,500	0.126						
A-21	5,550	0.127	A-43	6,665	0.153	C-2	5,550	0.127	C-24	6,610	0.152	D-22	8,057	0.185	E-8	5,500	0.126	F-4	5,500	0.126	F-26	5,500	0.126	H-26	5,500	0.126						
A-22	5,550	0.127	A-44X	14,100	0.324	C-3	5,550	0.127	D-1	6,610	0.152	D-23	10,748	0.247	E-9	5,500	0.126	F-5	5,500	0.126	F-27	5,500	0.126	H-27	5,500	0.126						

CITY OF WESTON
ENGINEERING DESIGN MANUAL
APPENDIX B
GENERAL NOTES

GENERAL

1. All construction shall be in accordance with the North Central Texas Council of Governments Standard Specifications for Public Works Construction.
2. Before beginning construction, the contractor shall prepare a construction sequence schedule. The construction sequence schedule shall be such that there is the minimum interference with traffic along or adjacent to the project.
3. Construction may not begin earlier than 7:00 A.M. on weekdays nor continued after dark without permission from the City of Weston. Construction on Saturday may not begin before 8:00 A.M. and work on Sunday is prohibited without special permission.
4. The contractor is responsible for verifying the location of all underground utilities and structures and protecting them from damage during construction.
5. Work may not be backfilled or covered until it has been inspected by the City.
6. Material testing shall be performed by an independent testing laboratory and paid for by the Contractor.
7. All excavation on the project is unclassified.
8. Temporary erosion control shall be used to minimize the spread of silt and mud from the project on to existing streets, alleys, drainage ways and public and private property. Temporary erosion controls may include straw bales, berms, dikes, swales, strips of undisturbed vegetation, check dams and other methods as required by the City of Weston.
9. Finished Slopes on public rights-of-way and easements shall not be steeper than 4:1. All slopes steeper than 6:1 shall be hydro mulched and maintained by the contractor until grass covers all parts of the slope.
10. The contractor shall maintain two-way traffic at all times along the project.
11. Remove, salvage and replace all street and traffic control signs which may be damaged by the construction of the project.
12. All trenching and excavation shall be performed in accordance with OSHA standards.

B-1

PAVING

1. All embankment shall be compacted to 95% Standard Proctor Density.
2. All streets and alleys shall be placed on lime stabilized subgrade with a lime content of not less than 6%.
3. The minimum 28 day compressive strength of concrete street paving shall not be less than 3600 PSI and shall be air entrained. Water may not be applied to the surface of concrete paving to improve workability.
4. All curb and gutter shall be integral with the pavement.
5. All street pavement must be cross-sloped or constructed on a parabolic crown section.
6. Streets and alleys shall be constructed with provisions for sidewalk ramps at all intersections.

DRAINAGE

1. Storm sewer pipe shall be reinforced concrete, Class III unless otherwise noted.
2. All structural concrete shall be Class "C" (3600 PSI compressive strength at 28 days), air entrained.
3. The Contractor shall install plugs in storm sewer lines or otherwise prevent mud from entering the storm sewer system during construction.

WATER AND SANITARY SEWER

1. Water mains shall be AWWA C-900 PVC class 150 unless otherwise noted. Minimum cover for waterlines is 48" or as required to clear existing utilities, whichever is greater.
2. Marking tape shall be installed over PVC water lines.
3. Fittings for PVC water lines shall be ductile iron and be encased in a polyethylene sheath.
4. Valves shall be resilient seat gate valves.
5. All direct burial valves shall be provided with cast iron valve boxes with PVC stacks. Valve stacks shall be vertical and concentric with the valve stem. Stainless steel valve extensions are required on all valves where the operating nut is greater than 4 feet below finished grade.
6. Fire hydrants shall be field painted per City of Weston specifications.

B-2

7. All exposed bolting on any buried equipment or material shall be stainless steel. Included are:
 - a. Bonnet and stuffing box bolts on valves
 - b. Shoe bolts on Fire Hydrants
 - c. Flange bolts"Cor-ten" mechanical joint "T" bolts are acceptable for direct burial service.
8. Meter boxes shall be as approved by the City of Weston. Contact the City Engineer for specifications.
9. Sanitary sewer mains shall be SDR 35 PVC.
10. The Contractor shall install and maintain water tight plugs in all connections to the City's sanitary sewer system until the project is accepted by the City.
11. All sanitary sewer lines and manholes shall be leak tested before the project is accepted. Deflection testing of PVC sewer lines is required.

B-3

Plans do not reflect changes to the Weston
EDS by Ordinance 2018-06-02.
Add new notes



2121 Midway Road
Suite 300
Carrollton, Texas 75006
972.248.7676
TBPE No. F-438
TBPLS No. 10076000

GENERAL NOTES

CITY OF WESTON

WESTON TRAILS, PHASE 1

City of Weston, Collin County, Texas

PROJECT
NO.
HOE288

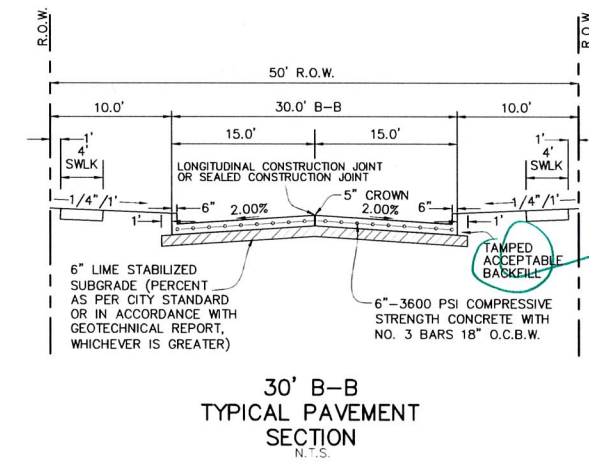
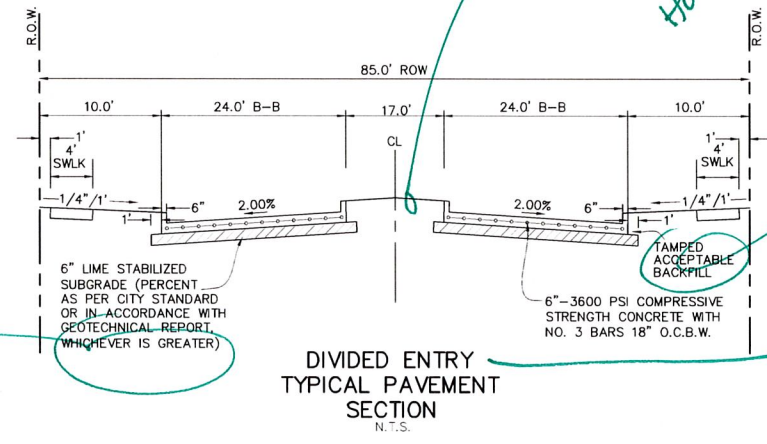
SHEET NO.
GN1

provide geotech
report

Vegetation or
pump ?
Irrigation ?
HoA manholes ?

What is acceptable ?

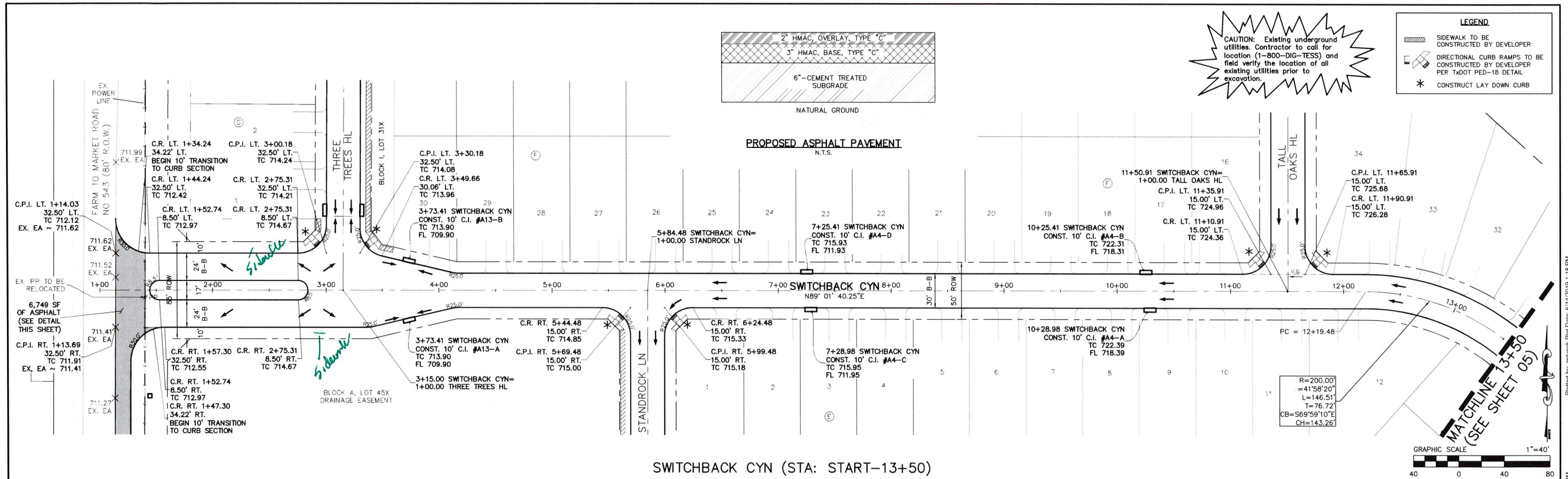
to a residential street



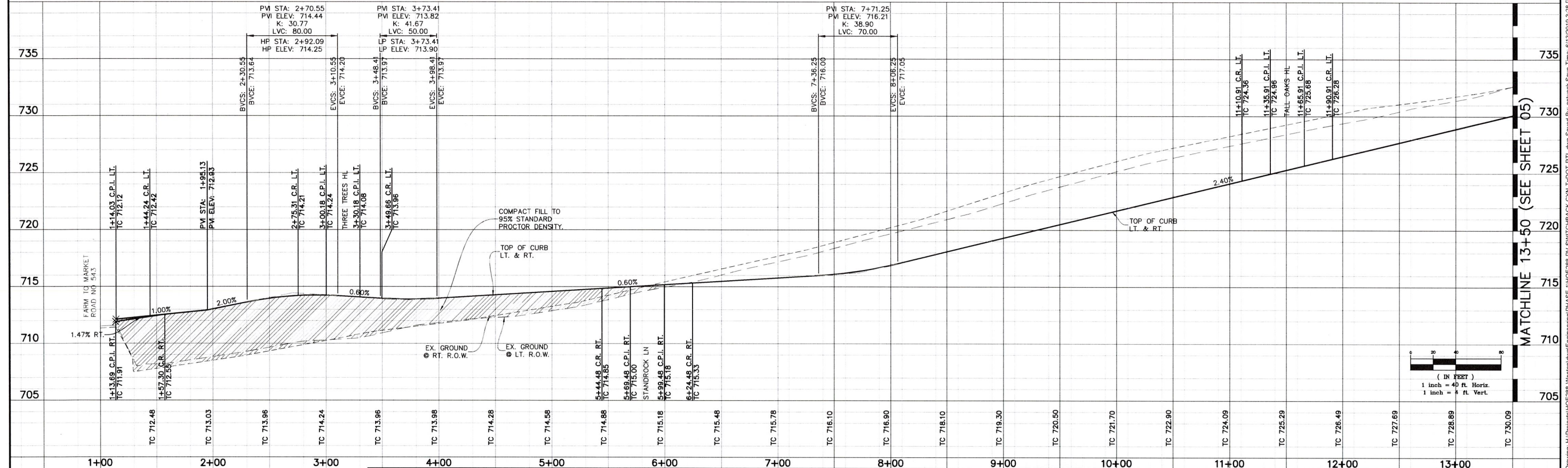
JBIPARTNERS

2121 Midway Road
Suite 300
Carrollton, Texas 75006
972.248.7676
TBPE No. F-438
TBPLS No. 10076000

PAVEMENT SECTION DETAILS		PROJECT NO.
		HOE288
WESTON TRAILS, PHASE 1		SHEET NO.
City of Weston, Collin County, Texas		02



SWITCHBACK CYN (STA: START-13+50)



BENCHMARKS					REVISIONS DURING CONSTRUCTION					SUBMITTALS				
1. "X" cut on headwall on the east side of F.M. 543, approximately 62' south of the centerline of Rigby Lane (JBI#9) Elev. 745.65					NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	NO.	DATE	NO.	DATE	DATE
2. "X" cut on headwall on the west side of F.M. 543, approximately 2,946' north of the centerline of County Road No. 206 (JBI#10) Elev. 733.37														
3. "X" cut on headwall at the southeast corner of the intersection of F.M. 543 and Country Road No. 206 (JBI#12) Elev. 717.56														

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JBIPARTNERS

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Suite 300
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972.248.7676
TBPE No. F-438
TBPLS No. 10076000

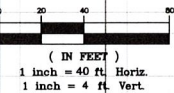
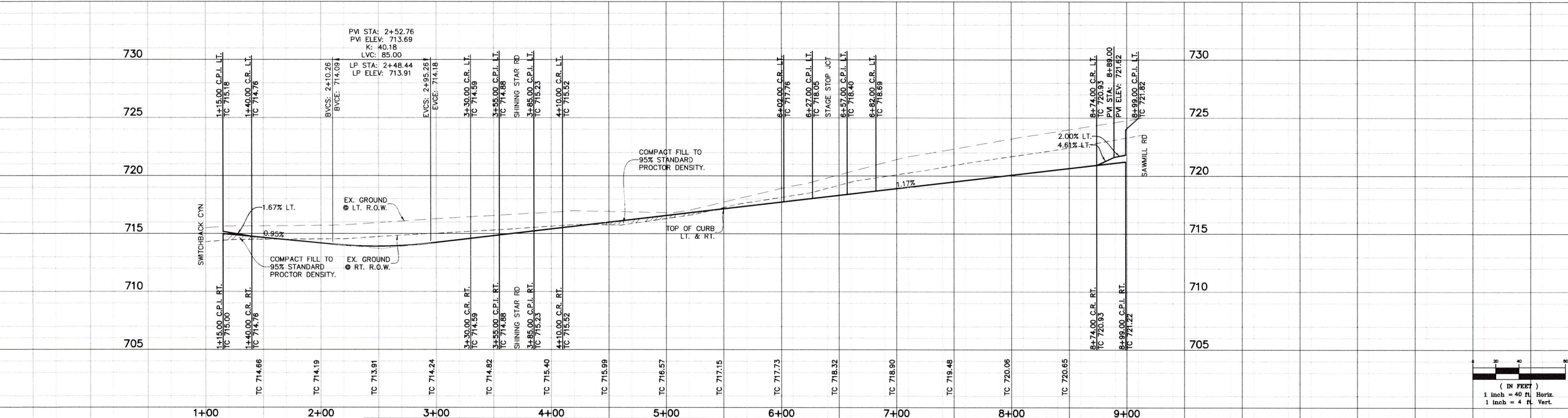
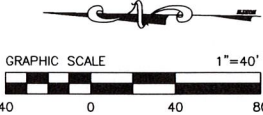
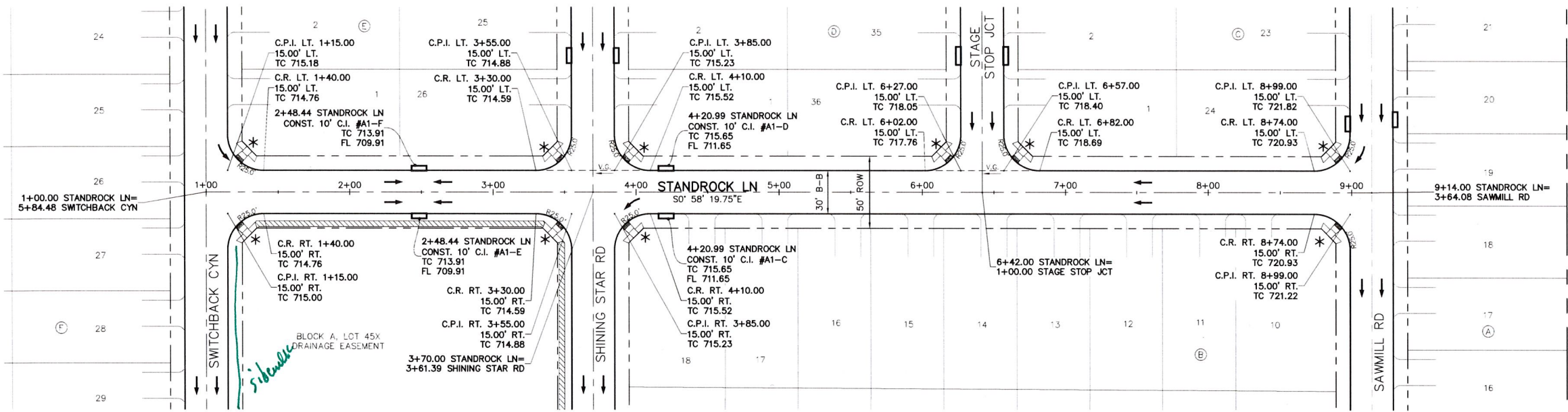
PAVING PLAN & PROFILE		PROJECT NO. HOE288
SWITCHBACK CYN (STA: START-13+50)		
WESTON TRAILS, PHASE 1		SHEET NO. 04
City of Weston, Collin County, Texas		

Drawing: H:\Projects\HOE288-Weston\dwg\Engineering\PHASE 1\HOE288-PV SWITCHBACK CYN-TxDOT-RTL.dwg Saved By: astueck Save Time: 6/13/2019 3:28 PM Plotted By: astueck Plot Date: 6/14/2019 1:18 PM

LEGEND

- SIDEWALK TO BE CONSTRUCTED BY DEVELOPER
- DIRECTIONAL CURB RAMP TO BE CONSTRUCTED BY DEVELOPER PER TxDOT PED-18 DETAIL
- CONSTRUCT LAY DOWN CURB

CAUTION: Existing underground utilities. Contractor to call for location (1-800-DIG-TESS) and field verify the location of all existing utilities prior to excavation.



- BENCHMARKS**
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 - 3. "X" cut on headwall at the southeast corner of the intersection of F.M. 543 and Country Road No. 206 (JBI#12) Elev. 717.56

NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	SUBMITTALS	DATE

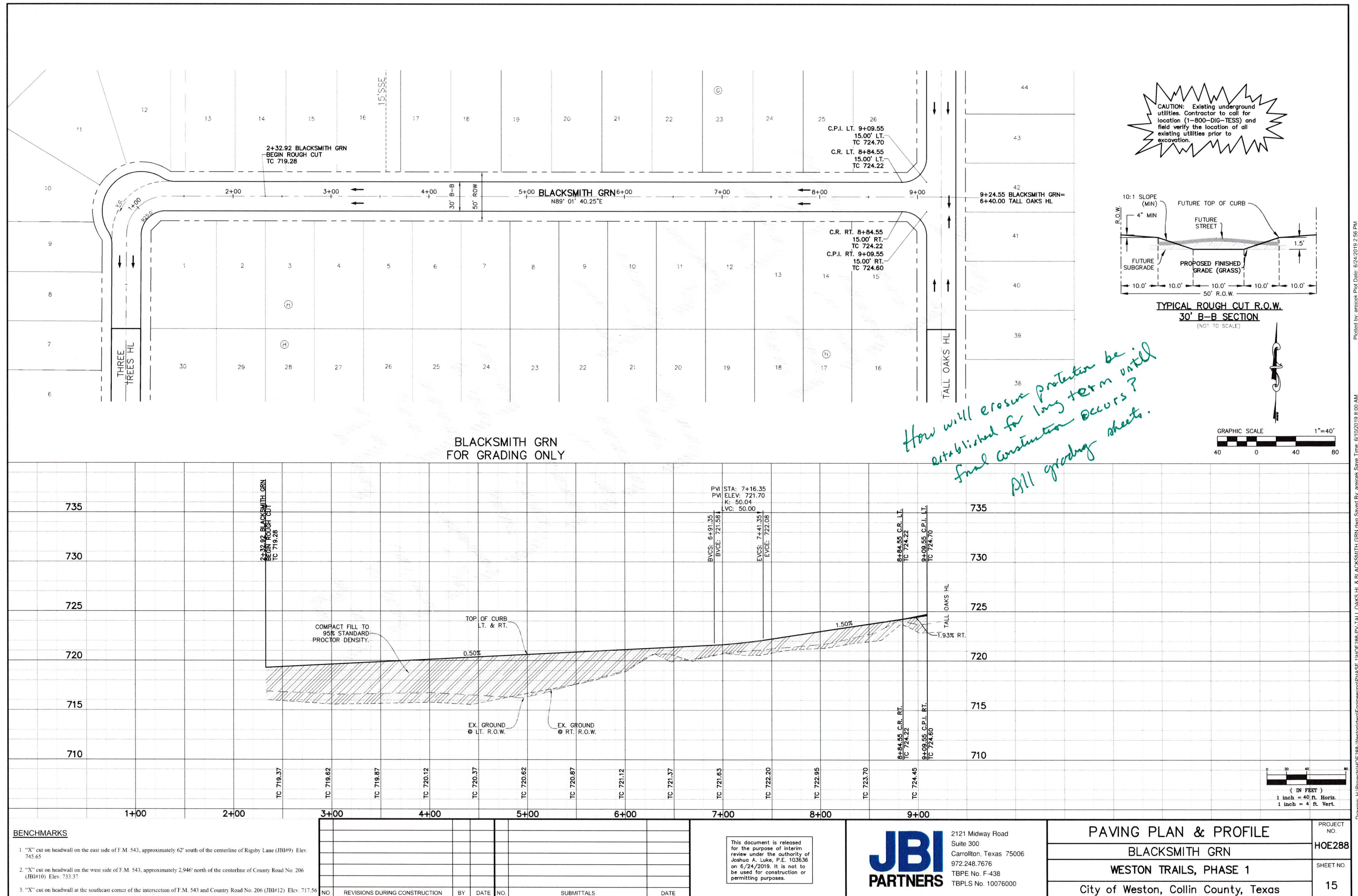
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JBI PARTNERS

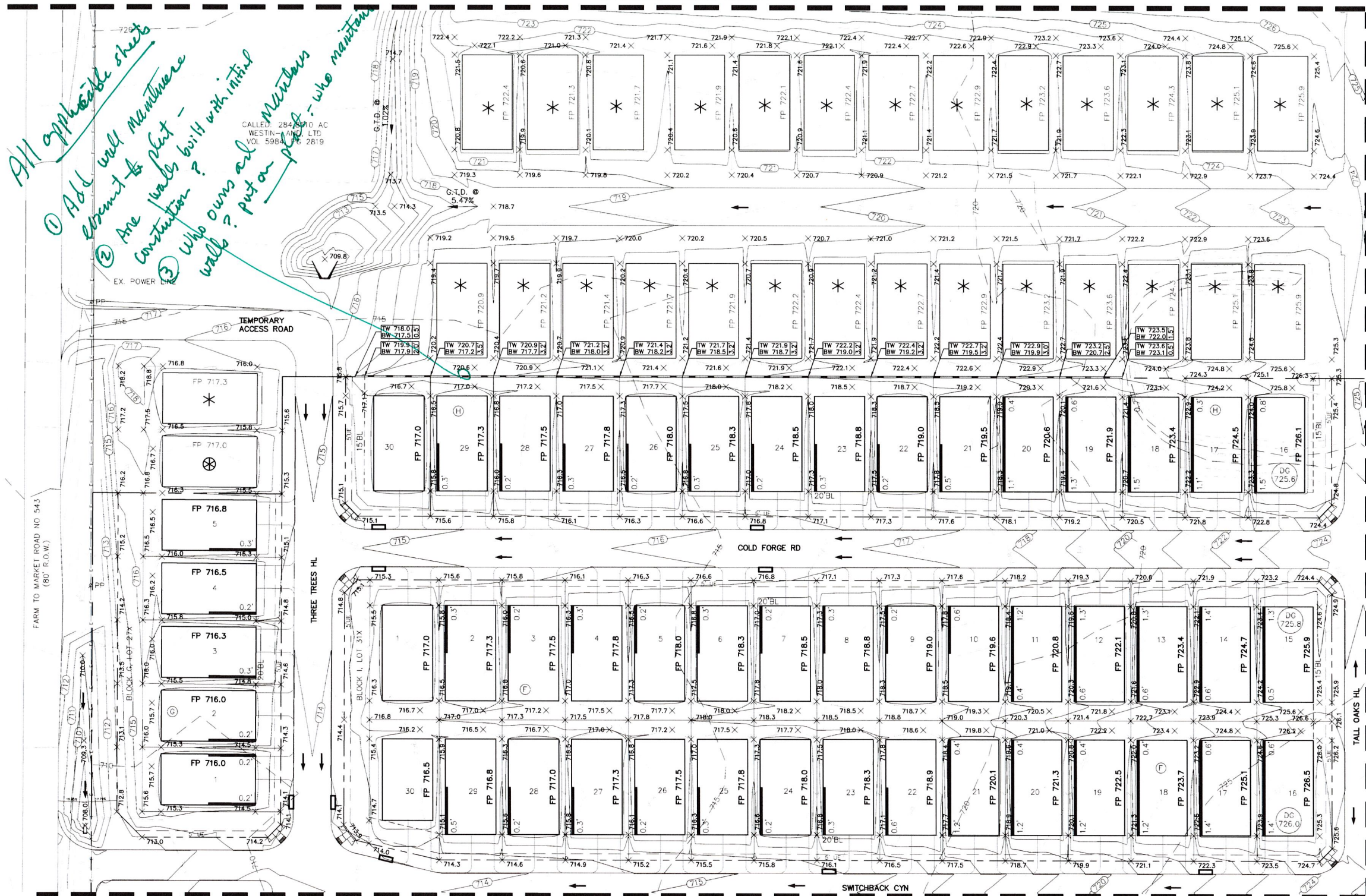
2121 Midway Road
Suite 300
Carrollton, Texas 75006
972.248.7676
TBPE No. F-438
TBPLS No. 10076000

PAVING PLAN & PROFILE		PROJECT NO.
STANDROCK LN		HOE288
WESTON TRAILS, PHASE 1		SHEET NO.
City of Weston, Collin County, Texas		07

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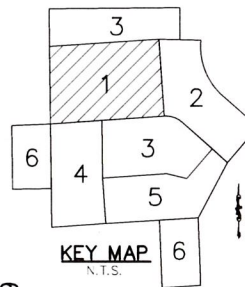


MATCHLINE SEE SHEET 20



LEGEND

- FP 762.6 FINISHED PAD ELEVATION
- 725 PROPOSED MAJOR CONTOUR
- 724 PROPOSED MINOR CONTOUR
- 705.2 PROPOSED GROUND
- 706 EXISTING MAJOR CONTOUR
- 703.2 EXISTING MINOR CONTOUR
- EX. 703.2 EXISTING GROUND
- PROF. STORM DRAINAGE FLOW
- EX. STORM DRAINAGE FLOW
- PROF. DRAINAGE FLOW DIRECTION
- PROF. RETAINING WALL
- EW 537.4 ELEVATION OF GROUND AT TOP OF WALL / LOW SIDE OF WALL
- BW 535.9
- DC 720.0 DROP GARAGE NECESSARY TO HAVE 12% DRIVEWAY
- 1.0 EXPOSED GRADE BEAM-NOT TO EXCEED 18" W/ DESIGN



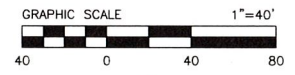
NOTES:

1. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE DURING INTERIM CONDITIONS AS PER PHASE 1 INTERIM DRAINAGE AREA MAP SHOWN ON SHEETS 28 & 29.
2. CONTRACTOR TO MAINTAIN 4:1 SIDE SLOPES MAX ON INTERIM BERMS & DITCHES.
3. LOTS MARKED WITH * ARE TO BE MASS GRADED BUT NOT FINAL BENCHMARK.
4. LOTS MARKED WITH ⊕ ARE TO BE MASS GRADED BUT NOT FINAL BENCHMARK. LOTS ARE ALSO TO BE MOISTURE CONDITIONED.

GRADING NOTES

1. STORM WATER POLLUTION PREVENTION PLAN (SWPPP) TO BE COMPLETELY IMPLEMENTED PRIOR TO ANY GRADING WORK.
2. GRADING SHALL NOT CREATE LOT-TO-LOT DRAINAGE CONDITION UNLESS APPROVED BY CITY & DISTRICT ENGINEER DURING DESIGN AND EASEMENTS ARE PROVIDED.
3. RETAINING WALLS TO BE PLACED ENTIRELY ON THE HIGH SIDE LOT, UNLESS OTHERWISE NOTED.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE THROUGHOUT THE SITE FROM ALL OFFSITE AREAS.
5. SPECIFICATIONS FOR CONSTRUCTION AND TESTING FOR EXCAVATION AND FILLING ON PRIVATE LOTS SHALL BE PROVIDED BY THE PROJECT'S GEOTECHNICAL ENGINEER. SPECIFICATIONS FOR CONSTRUCTION AND TESTING FOR EXCAVATION AND FILLING WITHIN PUBLIC RIGHT-OF-WAYS SHALL BE PROVIDED BY THE GOVERNING AGENCY. IN THE EVENT OF AN ABSENCE OF A SPECIFICATION BY A GOVERNING AGENCY, THE GEOTECHNICAL ENGINEER'S SPECIFICATIONS SHALL CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE SPECIFICATIONS FROM THE GEOTECHNICAL ENGINEER AND GOVERNING AGENCY PRIOR TO COMMENCING WORK.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING TESTING OF THE EXCAVATION AND FILLING WITH THE OWNER'S TESTING LABORATORY. IF THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE TESTING LABORATORY, THE SELECTED TESTING LABORATORY SHALL BE APPROVED BY THE OWNER.
7. RETAINING WALLS 2'-4' IN HEIGHT MAY REQUIRE A SEPARATE PERMIT FROM THE BUILDING INSPECTION DEPARTMENT, CONTRACTOR TO CONFIRM. RETAINING WALLS OVER 4' IN HEIGHT MUST BE DESIGNED BY AN ENGINEER REGISTERED IN THE STATE OF TEXAS. THIS PLAN IS FOR LOCATION AND ELEVATION PURPOSES ONLY. STRUCTURAL STABILITY ENGINEERING OF THE RETAINING WALLS ARE NOT PART OF THE DESIGN RESPONSIBILITY OF JBI PARTNERS.
8. ANY SLOPES GREATER THAN 3:1 SHALL BE REVIEWED BY THE OWNER'S GEOTECHNICAL ENGINEER FOR STABILITY PURPOSES. ALL SLOPES ARE DESIGNED AT A MAXIMUM OF 4 HORIZONTAL TO 1 VERTICAL UNLESS OTHERWISE NOTED.
9. JBI PARTNERS IS NOT RESPONSIBLE FOR SURFACE OR SUB-SURFACE GEOTECHNICAL AND SOIL RECOMMENDATIONS OF BUILDING PADS, SUBGRADES, SLOPES, TRENCHES, OR OTHER EXCAVATIONS. FINISH GRADE ELEVATIONS SHOWN ARE FOR POSITIVE DRAINAGE PURPOSES ONLY. JBI PARTNERS SHALL NOT BE RESPONSIBLE FOR FAILURES ASSOCIATED WITH SOIL EXPANSION, SETTLEMENT, SLOPE FAILURES, SUBSIDENCE, OR ANY OTHER GEOLOGICAL CONDITION.

CAUTION: Existing underground utilities. Contractor to call for location (1-800-DIG-TESS) and field verify the location of all existing utilities prior to excavation.



BENCHMARKS

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2. "X" cut on headwall on the west side of F.M. 543, approximately 2,946' north of the centerline of County Road No. 206 (JBI#10) Elev. 733.37
3. "X" cut on headwall at the southeast corner of the intersection of F.M. 543 and County Road No. 206 (JBI#12) Elev. 717.56

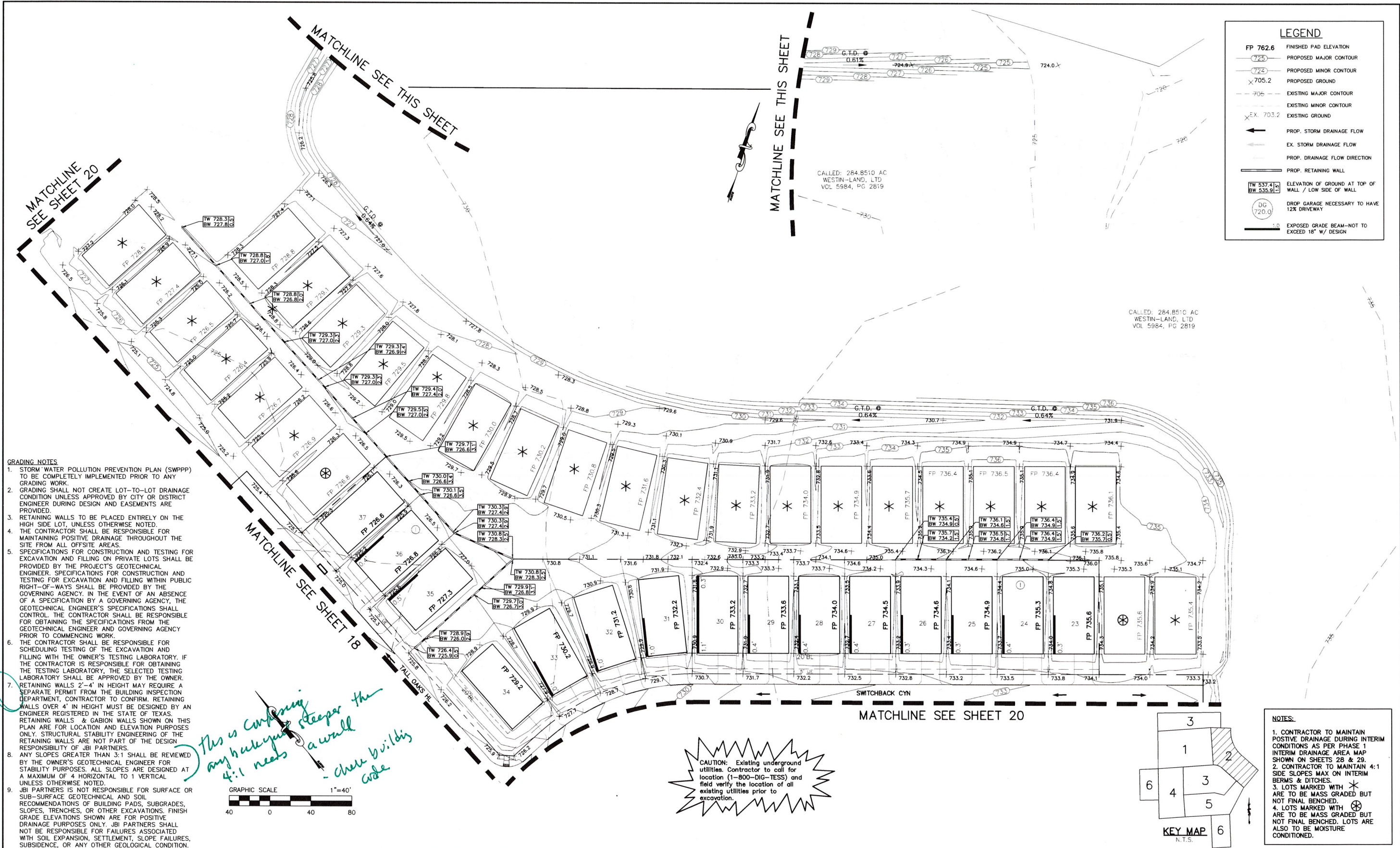
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JBIPARTNERS

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972.248.7676
TBPE No. F-438
TBPLS No. 10076005

GRADING PLAN
SHEET 1
WESTON TRAILS, PHASE 1
City of Weston, Collin County, Texas

PROJECT NO. HOE288
SHEET NO. 18



BENCHMARKS									
1. "X" cut on headwall on the east side of F.M. 543, approximately 62' south of the centerline of Rigbsy Lane (JBI#9) Elev. 745.65									
2. "X" cut on headwall on the west side of F.M. 543, approximately 2,946' north of the centerline of County Road No. 206 (JBI#10) Elev. 733.37									
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NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	SUBMITTALS	DATE

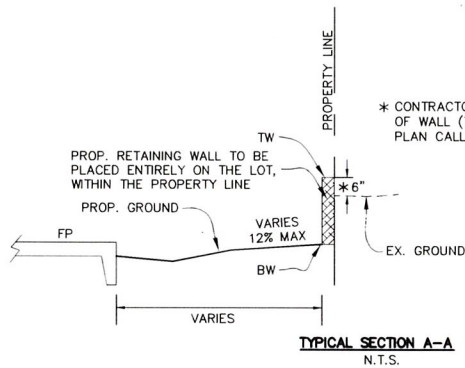
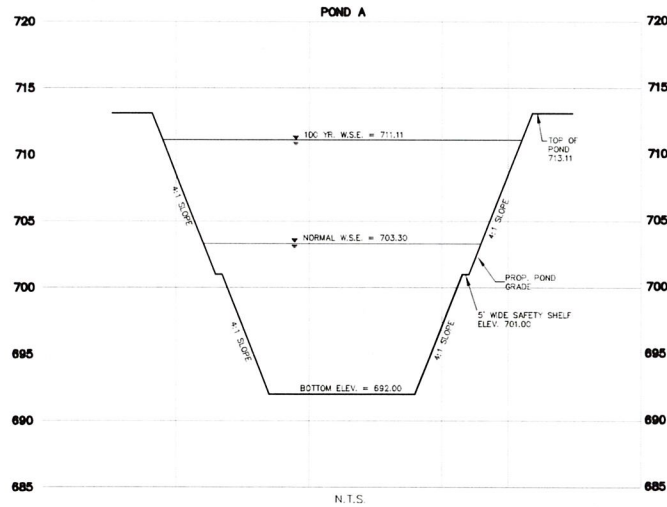
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JBI

PARTNERS

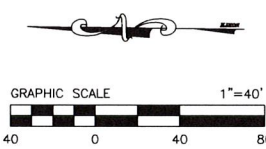
2121 Midway Road
Suite 300
Carrollton, Texas 75006
972.248.7676
TBPE No. F-438
TBPLS No. 10076000

GRADING PLAN		PROJECT NO.
SHEET 2		HOE288
WESTON TRAILS, PHASE 1		SHEET NO.
City of Weston, Collin County, Texas		19

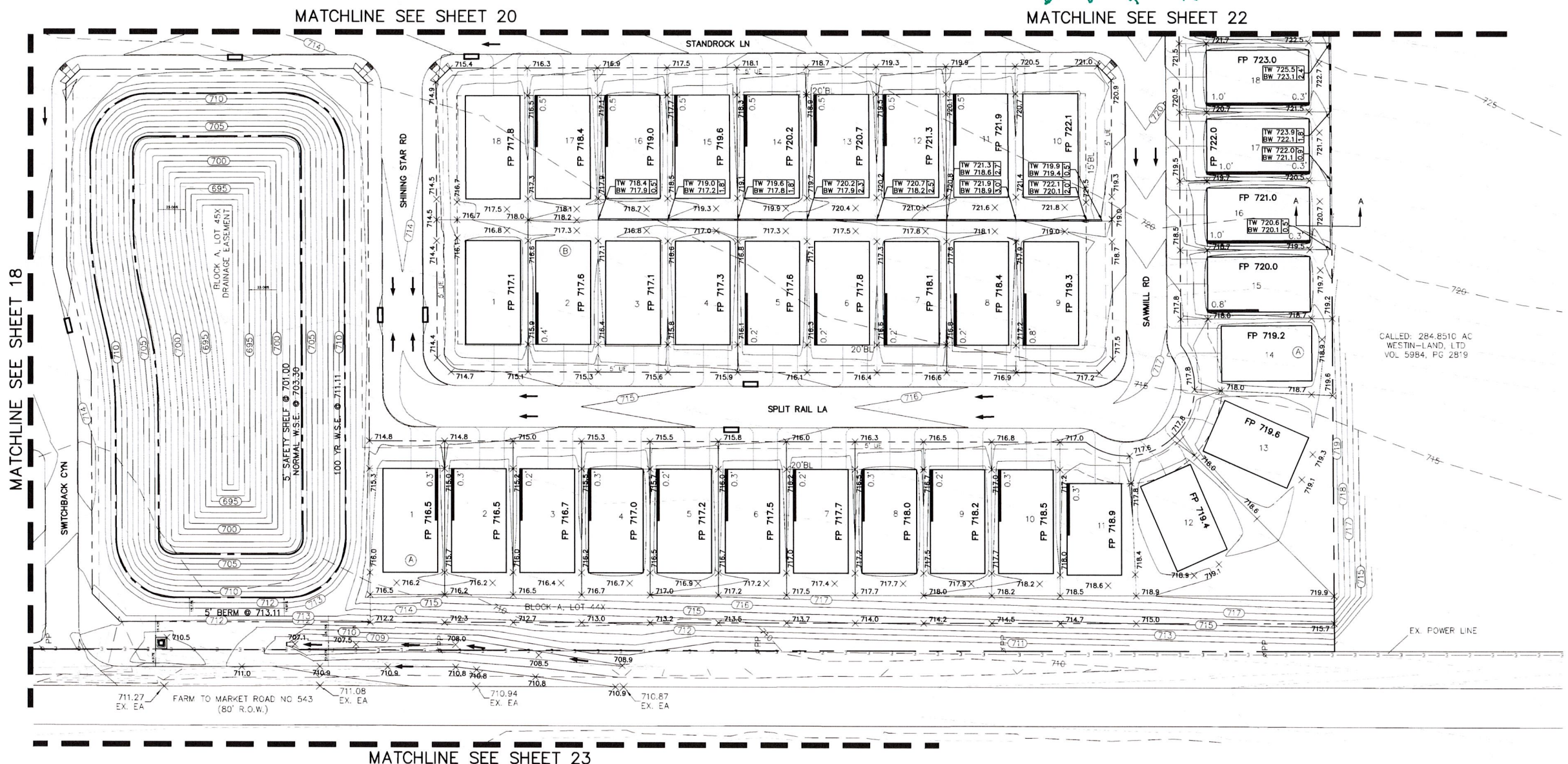


14 this detail -
show the location of the
fence - on well or
on other property?
there will need to
be a maintenance
account on the
adjacent lot
to make repairs
of needed in the future.

- NOTES:**
1. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE DURING INTERIM CONDITIONS AS PER PHASE 1 INTERIM DRAINAGE AREA MAP SHOWN ON SHEETS 28 & 29.
 2. CONTRACTOR TO MAINTAIN 4:1 SIDE SLOPES MAX ON INTERIM BERMS & DITCHES.
- NOTE:**
- PER HYDROLINK ENGINEERING, ANALYSIS WAS CONDUCTED USING THE UNIT HYDROGRAPH ROUTING METHOD OF THE POND.



- LEGEND**
- FP 762.6 FINISHED PAD ELEVATION
 - 725 PROPOSED MAJOR CONTOUR
 - 724 PROPOSED MINOR CONTOUR
 - 705.2 PROPOSED GROUND
 - 705 EXISTING MAJOR CONTOUR
 - 703.2 EXISTING MINOR CONTOUR
 - 703.2 EXISTING GROUND
 - PROP. STORM DRAINAGE FLOW
 - EX. STORM DRAINAGE FLOW
 - PROP. DRAINAGE FLOW DIRECTION
 - PROP. RETAINING WALL
 - EW 537.4 ELEVATION OF GROUND AT TOP OF WALL / LOW SIDE OF WALL
 - 535.9
 - DG DROP GARAGE NECESSARY TO HAVE 12% DRIVEWAY
 - 720.0
 - EXPOSED GRADE BEAM-NOT TO EXCEED 18" W/ DESIGN



CAUTION: Existing underground utilities. Contractor to call for location (1-800-DIG-TESS) and field verify the location of all existing utilities prior to excavation.

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NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	SUBMITTALS	DATE

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972.248.7676
TBPE No. F-438
TBPLS No. 10076000

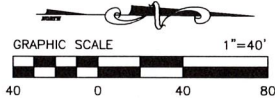
GRADING PLAN
SHEET 4

WESTON TRAILS, PHASE 1

City of Weston, Collin County, Texas

PROJECT NO.
HOE288

SHEET NO.
21



MATCHLINE SEE SHEET 21

CHANNEL EASEMENT
VOL 400, PG 422

CALLED: 16.70 AC
LITTLE ELM RANCH CORPORATION
VOL 5964, PG 3964

CALLED: 623.48 AC
TRACT 2
HONEY CREEK RANCH CORP
VOL 4768, PG 3562

Not clear to me
where this is located -
show location on plat
with temporary drainage easement?
to be replaced in future if
on Weston Trails property.

CALLED: 284.8510 AC
WESTIN-LAND, LTD
VOL 5984, PG 2819

CALLED: 284.8510 AC
WESTIN-LAND, LTD
VOL 5984, PG 2819



LEGEND

FP 762.6	FINISHED PAD ELEVATION
725	PROPOSED MAJOR CONTOUR
724	PROPOSED MINOR CONTOUR
X 705.2	PROPOSED GROUND
705	EXISTING MAJOR CONTOUR
703.2	EXISTING MINOR CONTOUR
X 703.2	EXISTING GROUND
←	PROP. STORM DRAINAGE FLOW
→	EX. STORM DRAINAGE FLOW
→	PROP. DRAINAGE FLOW DIRECTION
—	PROP. RETAINING WALL
TW 537.4 BW 535.9	ELEVATION OF GROUND AT TOP OF WALL / LOW SIDE OF WALL
DG 720.0	DROP GARAGE NECESSARY TO HAVE 12% DRIVEWAY
1.0	EXPOSED GRADE BEAM—NOT TO EXCEED 18" W/ DESIGN

NOTES:

1. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE DURING INTERIM CONDITIONS AS PER PHASE 1 INTERIM DRAINAGE AREA MAP SHOWN ON SHEETS 28 & 29.
2. CONTRACTOR TO MAINTAIN 4:1 SIDE SLOPES MAX ON INTERIM BERMS & DITCHES.

GRADING NOTES:

1. STORM WATER POLLUTION PREVENTION PLAN (SWPPP) TO BE COMPLETELY IMPLEMENTED PRIOR TO ANY GRADING WORK.
2. GRADING SHALL NOT CREATE LOT-TO-LOT DRAINAGE CONDITION UNLESS APPROVED BY CITY OR DISTRICT ENGINEER DURING DESIGN AND EASEMENTS ARE PROVIDED.
3. RETAINING WALLS TO BE PLACED ENTIRELY ON THE HIGH SIDE LOT, UNLESS OTHERWISE NOTED.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE THROUGHOUT THE SITE FROM ALL OFFSITE AREAS.
5. SPECIFICATIONS FOR CONSTRUCTION AND TESTING FOR EXCAVATION AND FILLING ON PRIVATE LOTS SHALL BE PROVIDED BY THE PROJECT'S GEOTECHNICAL ENGINEER. SPECIFICATIONS FOR CONSTRUCTION AND TESTING FOR EXCAVATION AND FILLING WITHIN PUBLIC RIGHT-OF-WAYS SHALL BE PROVIDED BY THE GOVERNING AGENCY. IN THE EVENT OF AN ABSENCE OF A SPECIFICATION BY A GOVERNING AGENCY, THE GEOTECHNICAL ENGINEER'S SPECIFICATIONS SHALL CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE SPECIFICATIONS FROM THE GEOTECHNICAL ENGINEER AND GOVERNING AGENCY PRIOR TO COMMENCING WORK.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING TESTING OF THE EXCAVATION AND FILLING WITH THE OWNER'S TESTING LABORATORY. IF THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE TESTING LABORATORY, THE SELECTED TESTING LABORATORY SHALL BE APPROVED BY THE OWNER.
7. RETAINING WALLS 2'-4' IN HEIGHT MAY REQUIRE A SEPARATE PERMIT FROM THE BUILDING INSPECTION DEPARTMENT, CONTRACTOR TO CONFIRM. RETAINING WALLS OVER 4' IN HEIGHT MUST BE DESIGNED BY AN ENGINEER REGISTERED IN THE STATE OF TEXAS. RETAINING WALLS & GABION WALLS SHOWN ON THIS PLAN ARE FOR LOCATION AND ELEVATION PURPOSES ONLY. STRUCTURAL STABILITY ENGINEERING OF THE RETAINING WALLS ARE NOT PART OF THE DESIGN RESPONSIBILITY OF JBI PARTNERS.
8. ANY SLOPES GREATER THAN 3:1 SHALL BE REVIEWED BY THE OWNER'S GEOTECHNICAL ENGINEER FOR STABILITY PURPOSES. ALL SLOPES ARE DESIGNED AT A MAXIMUM OF 4 HORIZONTAL TO 1 VERTICAL UNLESS OTHERWISE NOTED.
9. JBI PARTNERS IS NOT RESPONSIBLE FOR SURFACE OR SUB-SURFACE GEOTECHNICAL AND SOIL RECOMMENDATIONS OF BUILDING PADS, SUBGRADES, SLOPES, TRENCHES, OR OTHER EXCAVATIONS. FINISH GRADE ELEVATIONS SHOWN ARE FOR POSITIVE DRAINAGE PURPOSES ONLY. JBI PARTNERS SHALL NOT BE RESPONSIBLE FOR FAILURES ASSOCIATED WITH SOIL EXPANSION, SETTLEMENT, SLOPE FAILURES, SUBSIDENCE, OR ANY OTHER GEOLOGICAL CONDITION.

BENCHMARKS

1. "X" cut on headwall on the east side of F.M. 543, approximately 62' south of the centerline of Rigby Lane (JBI#9) Elev. 745.65
2. "X" cut on headwall on the west side of F.M. 543, approximately 2,946' north of the centerline of County Road No. 206 (JBI#10) Elev. 733.37
3. "X" cut on headwall at the southeast corner of the intersection of F.M. 543 and County Road No. 206 (JBI#12) Elev. 717.56

NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	SUBMITTALS	DATE

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JBI
PARTNERS

2121 Midway Road
Suite 300
Carrollton, Texas 75006
972.248.7676
TBPE No. F-438
TBPLS No. 10076000

GRADING PLAN

SHEET 6

WESTON TRAILS, PHASE 1

City of Weston, Collin County, Texas

PROJECT NO.

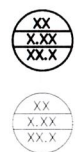
HOE288

SHEET NO.

23

MATCHLINE (SEE SHEET 29)

LEGEND



PROPOSED DRAINAGE AREA NUMBER
PROPOSED DRAINAGE AREA (ACRES)
PROPOSED RUNOFF, Q100 (CFS)
EXISTING DRAINAGE AREA NUMBER
EXISTING DRAINAGE AREA (ACRES)
EXISTING RUNOFF, Q100 (CFS)

INTERIM/PROPOSED DRAINAGE DIVIDE

PROPOSED FLOW DIRECTION

EXISTING FLOW DIRECTION

DRAINAGE THEORY

Rational Method: $Q = CIA$

Q ~ runoff [c.f.s.]
 C ~ runoff coefficient
 C (developed) = 0.50
 C (existing/open space) = 0.35
 I ~ Intensity [in/hr]
15 min: $I(100yr) = 9.60$ in/hr
20 min: $I(100yr) = 8.27$ in/hr
 A ~ Area [acres]

RUNOFF CALCULATIONS

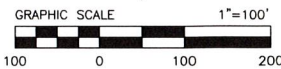
Drainage Area #	Area (Acres)	Runoff Coeff.	10-yr Storm Intensity (in/hr)	100-yr Storm Intensity (in/hr)	Time (conc.) (minutes)	10-yr Storm Discharge (c.f.s.)	100-yr Storm Discharge (c.f.s.)	Comment
A1	2.52	0.50	6.71	9.60	15.0	8.5	12.1	Developed - Single Family
A2	3.67	0.50	6.71	9.60	15.0	12.3	17.6	Developed - Single Family
A3	2.31	0.50	6.71	9.60	15.0	7.7	11.1	Developed - Single Family
A4	3.28	0.50	6.71	9.60	15.0	11.0	15.8	Developed - Single Family
A5	1.86	0.50	6.71	9.60	15.0	6.2	8.9	Developed - Single Family
A6	3.40	0.50	6.71	9.60	15.0	11.4	16.3	Developed - Single Family
A7	1.86	0.50	6.71	9.60	15.0	6.2	8.9	Developed - Single Family
A8	1.17	0.50	6.71	9.60	15.0	3.9	5.6	Developed - Single Family
A9	3.37	0.50	6.71	9.60	15.0	11.3	16.2	Developed - Single Family
A10	2.02	0.50	6.71	9.60	15.0	6.8	9.7	Developed - Single Family
A27	0.90	0.50	6.71	9.60	15.0	3.0	4.3	Developed - Single Family
A28	2.86	0.50	6.71	9.60	15.0	9.6	13.7	Developed - Single Family
A29	1.87	0.50	6.71	9.60	15.0	6.3	9.0	Developed - Single Family
A30	1.69	0.50	6.71	9.60	15.0	5.7	8.1	Developed - Single Family
A31	1.35	0.50	6.71	9.60	15.0	4.5	6.5	Developed - Single Family
A-POND	1.93	0.35	5.78	8.27	20.0	3.6	5.6	Open Space
INT-1	40.94	0.35	5.78	8.27	20.0	82.9	116.5	Existing
Basin A	77.01					201.3	287.8	
C1	1.70	0.50	6.71	9.60	15.0	5.7	8.2	Developed - Single Family
C2	3.18	0.50	6.71	9.60	15.0	10.7	15.3	Developed - Single Family
Basin B	4.88					16.4	23.4	
INT-2	5.47	0.35	5.78	8.27	20.0	11.1	15.8	Developed - Single Family
Basin E	5.47					11.1	15.8	
INT-3	4.51	0.50	5.78	8.27	20.0	13.0	18.6	Interim-Weighted C Factor
INT-4	0.32	0.50	5.78	8.27	20.0	0.9	1.3	Interim-Weighted C Factor
INT-5	2.08	0.50	5.78	8.27	20.0	6.0	8.6	Interim-Weighted C Factor
INT-6	9.15	0.35	5.78	8.27	20.0	18.5	26.5	Existing
Basin INT	16.08					38.5	55.0	

DRAINAGE DESIGN THEORY

Rational Method
 $Q = CIA$
 C and I values taken from City of Weston Standards

$I = 11.55$ in/hr

CAUTION: Existing underground utilities. Contractor to call for location (1-800-DIG-TESS) and field verify the location of all existing utilities prior to excavation.



BENCHMARKS

- "X" cut on headwall on the east side of F.M. 543, approximately 62' south of the centerline of Rigby Lane (JBI#9) Elev. 745.65
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- "X" cut on headwall at the southeast corner of the intersection of F.M. 543 and Country Road No. 206 (JBI#12) Elev. 717.56

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972.248.7676
TBPE No. F-438
TBPLS No. 10076000

DRAINAGE AREA MAP

INTERIM

WESTON TRAILS, PHASE 1

City of Weston, Collin County, Texas

PROJECT NO.

HOE288

SHEET NO.

28

CALLED: 3.5114 AC
 MILTON D WHITE AND ELIZABETH
 H WHITE
 VOL 4476, PG 2323

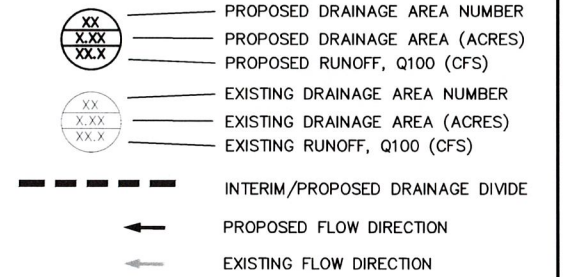
CALLED: 284.8510 AC
 WESTIN-LAND, LTD
 VOL 5984, PG 2819

REMAINDER OF
CALLED: 124 7/8 AC
IMOGENE RIGSBY POSTON
VOL 5659, PG 1744

CALLER: 76.90 AC
OSBURN LIVING TRUST
DOC NO 94-0068339

CALLED: 91.816 AC
 TRACT ONE
 HONEY CREEK RANCH CORP
 VOL 5939, PG 3812

LEGEND



DRAINAGE THEORY

Rational Method: $Q=CIA$

Q ~ runoff [c.f.s.]
C ~ runoff coefficient
C(developed) = 0.50
C(existing/open space) = 0.35
I ~ Intensity [in/hr]
15 min: I(100yr) = 9.60in/hr
20 min: I(100yr) = 8.27in/hr
A ~ Area [acres]

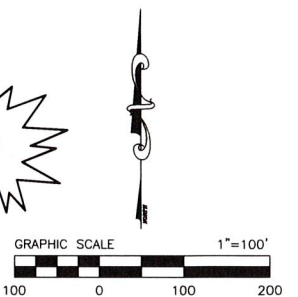
RUNOFF CALCULATIONS

Drainage Area #	Area (Acres)	Runoff Coeff	10-yr Storm Intensity (in./hr.)	100-yr Storm Intensity (in./hr.)	Time (con. minutes)	10-yr Storm Discharge (c.f.s.)	100-yr Storm Discharge (c.f.s.)	Comment
"A"	"C"	"I ₁₀ "	"I ₁₀₀ "	T _C	"Q ₁₀ "	"Q ₁₀₀ "		
A1	2.52	0.50	6.71	9.60	15.0	8.5	12.1	Developed - Single Family
A2	3.67	0.50	6.71	9.60	15.0	12.3	17.6	Developed - Single Family
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A8	1.17	0.50	6.71	9.60	15.0	3.9	5.6	Developed - Single Family
A9	3.37	0.50	6.71	9.60	15.0	11.3	16.2	Developed - Single Family
A10	2.02	0.50	6.71	9.60	15.0	6.8	9.7	Developed - Single Family
A27	0.90	0.50	6.71	9.60	15.0	3.0	4.3	Developed - Single Family
A28	2.86	0.50	6.71	9.60	15.0	9.6	13.7	Developed - Single Family
A29	1.50	0.50	6.71	9.60	15.0	6.3	8.9	Developed - Single Family
A30	1.69	0.50	6.71	9.60	15.0	5.7	8.1	Developed - Single Family
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A-POND	1.93	0.35	5.78	8.27	20.0	3.6	5.6	Open Space
INT-1	40.94	0.35	5.78	8.27	20.0	82.9	118.5	Existing
Basin A	77.01					201.3	287.8	
C1	1.70	0.50	6.71	9.60	15.0	5.7	8.2	Developed - Single Family
C2	3.18	0.50	6.71	9.60	15.0	10.7	15.3	Developed - Single Family
Basin B	4.88					16.4	23.4	
INT-2	5.47	0.35	5.78	8.27	20.0	11.1	15.8	Developed - Single Family
Basin E	5.47					11.1	15.8	
INT-3	4.51	0.50	5.78	8.27	20.0	13.0	18.6	Interim-Weighted C Factor
INT-4	2.32	0.50	5.78	8.27	20.0	0.9	1.3	Interim-Weighted C Factor
INT-5	0.08	0.50	5.78	8.27	20.0	6.0	8.6	Interim-Weighted C Factor
INT-6	9.15	0.35	5.78	8.27	20.0	18.5	26.5	Existing
Basin INT	16.06					38.5	55.0	

Basin INT	16.06		
DRAINAGE DESIGN THEORY			

C and "I" values taken from City of Weston Standards

CAUTION: Existing underground utilities. Contractor to call for location (1-800-DIG-TESS) and field verify the location of all existing utilities prior to excavation.



MATCHLINE (SEE SHEET 28)

BENCHMARKS

1. "X" cut on headwall on the east side of F.M. 543, approximately 62' south of the centerline of Rigsby Lane (JBI#9) Elev. 745.65
2. "X" cut on headwall on the west side of F.M. 543, approximately 2,946' north of the centerline of County Road No. 206 (JBI#10) Elev. 733.37
3. "X" cut on headwall at the southeast corner of the intersection of F.M. 543 and Country Road No. 206 (JBI#12) Elev. 717.56

56	NO	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	SUBMITTALS
						DATE

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TBPE No. F-438
TBPLS No. 10076000

DRAINAGE AREA MAP

INTERIM

WESTON TRAILS, PHASE 1

City of Weston, Collin County, Texas

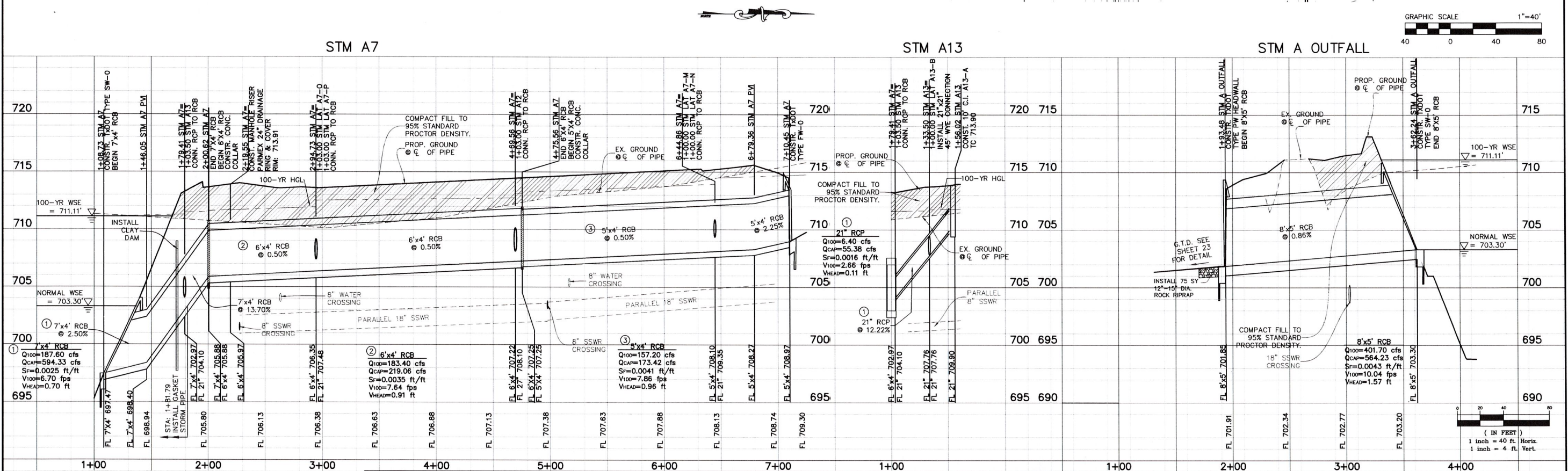
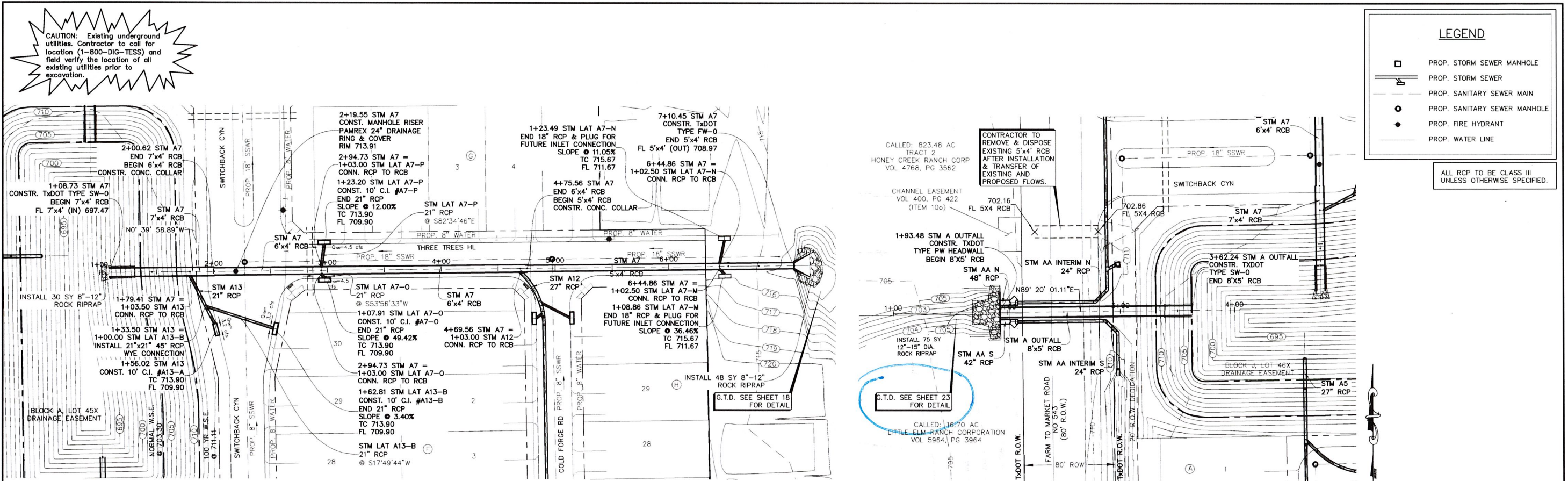
PROJECT
NO.
OF 288

SHEET NO.

29

Is this the same area as
Ex-1 sheet 27?

32



BENCHMARKS					REVISIONS DURING CONSTRUCTION					SUBMITTALS				
1. "X" cut on headwall on the east side of F.M. 543, approximately 62' south of the centerline of Rigby Lane (JB1#9). Elev. 745.65					NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.					
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JBIPARTNERS

2121 Midway Road
Suite 300
Carrollton, Texas 75006
972.248.7676
TBPE No. F-438
TBPLS No. 10076000

STORM PLAN & PROFILE

STM A7, A13, & STM A OUTFALL

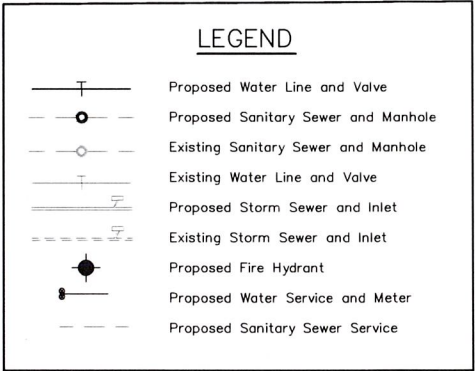
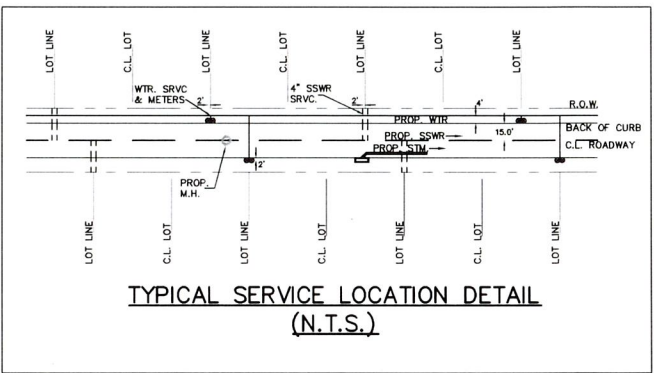
WESTON TRAILS, PHASE 1

City of Weston, Collin County, Texas

PROJECT NO.
HOE288

SHEET NO.
41

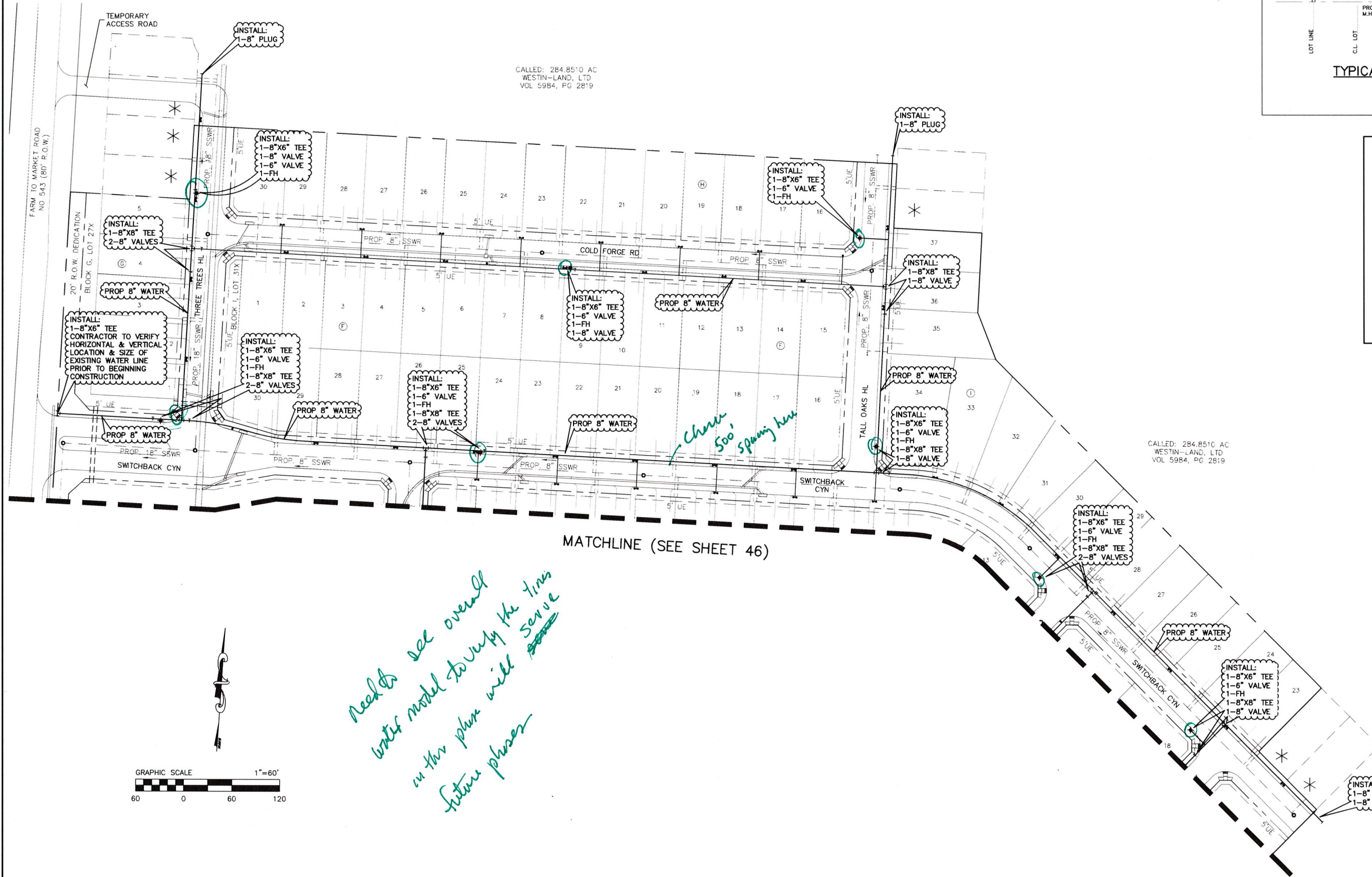
CAUTION: Existing underground utilities. Contractor to call for location (1-800-DIG-TESS) and field verify the location of all existing utilities prior to excavation.



* NOTE: INSTALL WATER METER FOR FUTURE LOTS

WATER METER COUNT: 218

CONTRACTOR TO ENSURE NO VALVE STACK WILL INTERFERE WITH BARRIER FREE RAMPS, DRIVEWAYS, OR WATER METERS.



Need to see overall water model to verify the times in this plan will serve future phases

Need to see water model verifying reg'd fire flow for the fire code - all FH's in system - 2 hr delay period + 20 psi in system plus future phases downstream of this phase

BENCHMARKS				
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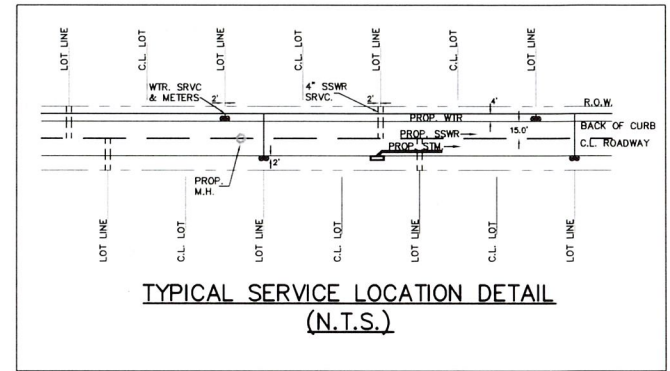
NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	SUBMITTALS	DATE

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Carrollton, Texas 75006
972.248.7676
TBPE No. F-438
TBPLS No. 10076000

WATER PLAN		PROJECT NO.
NORTH		HOE288
WESTON TRAILS, PHASE 1		SHEET NO.
City of Weston, Collin County, Texas		45

CAUTION: Existing underground utilities. Contractor to call for location (1-800-DIG-TESS) and field verify the location of all existing utilities prior to excavation.



LEGEND

- Proposed Water Line and Valve
- Proposed Sanitary Sewer and Manhole
- Existing Sanitary Sewer and Manhole
- Existing Water Line and Valve
- Proposed Storm Sewer and Inlet
- Existing Storm Sewer and Inlet
- Proposed Fire Hydrant
- Proposed Water Service and Meter
- Proposed Sanitary Sewer Service

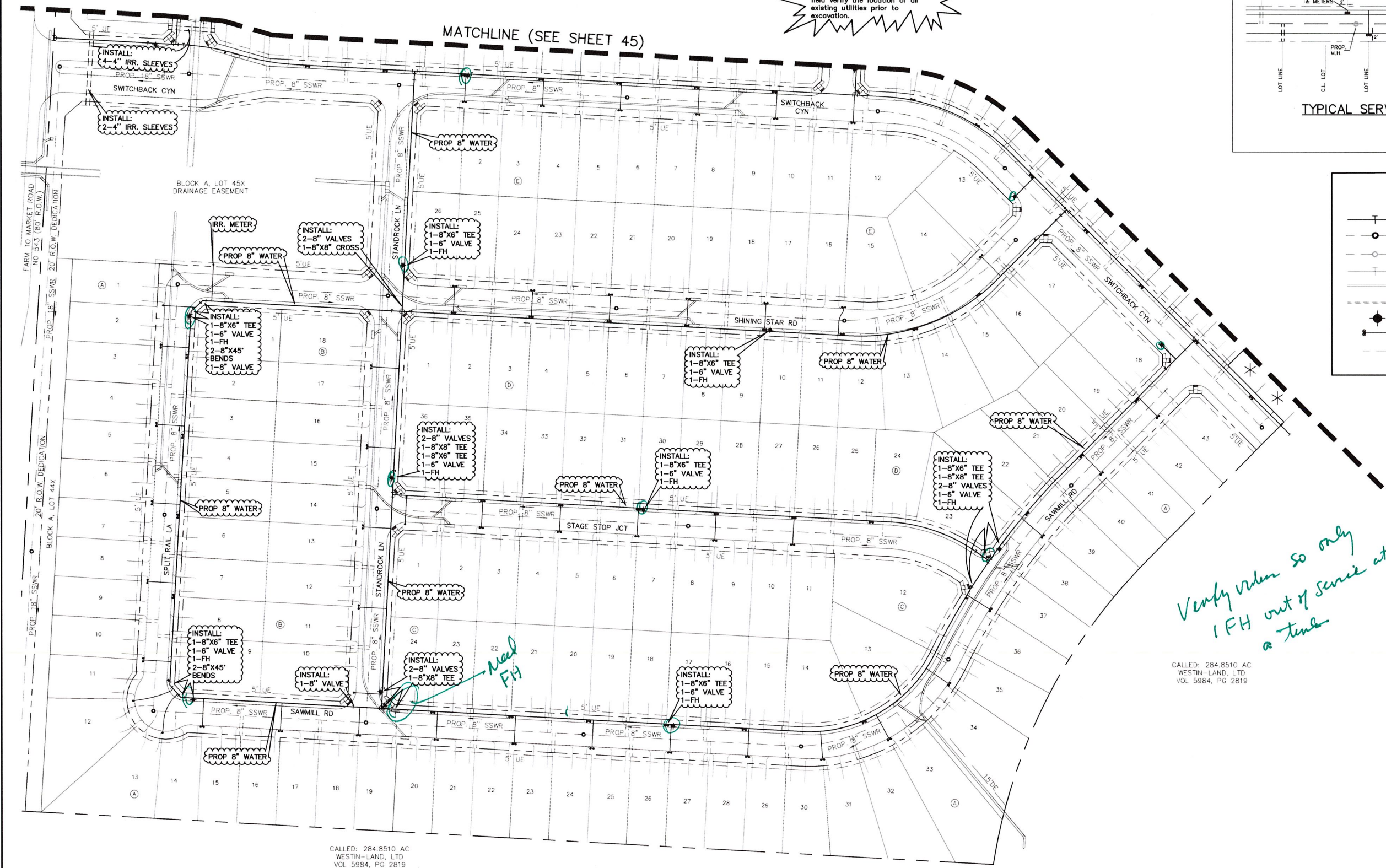
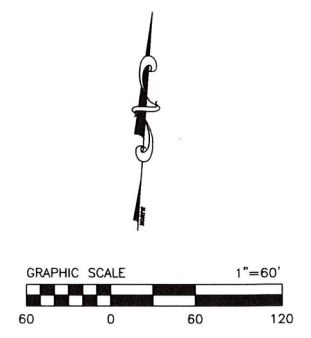
* NOTE: INSTALL WATER METER FOR FUTURE LOTS

WATER METER COUNT: 218

CONTRACTOR TO ENSURE NO VALVE STACK WILL INTERFERE WITH BARRIER FREE RAMPS, DRIVEWAYS, OR WATER METERS.

Verify valves so only 1 FH out of service at a time

CALL: 284.8510 AC
WESTIN-LAND, LTD
VOL. 5984, PG. 2819



CALL: 284.8510 AC
WESTIN-LAND, LTD
VOL. 5984, PG. 2819

BENCHMARKS

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NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	SUBMITTALS	DATE

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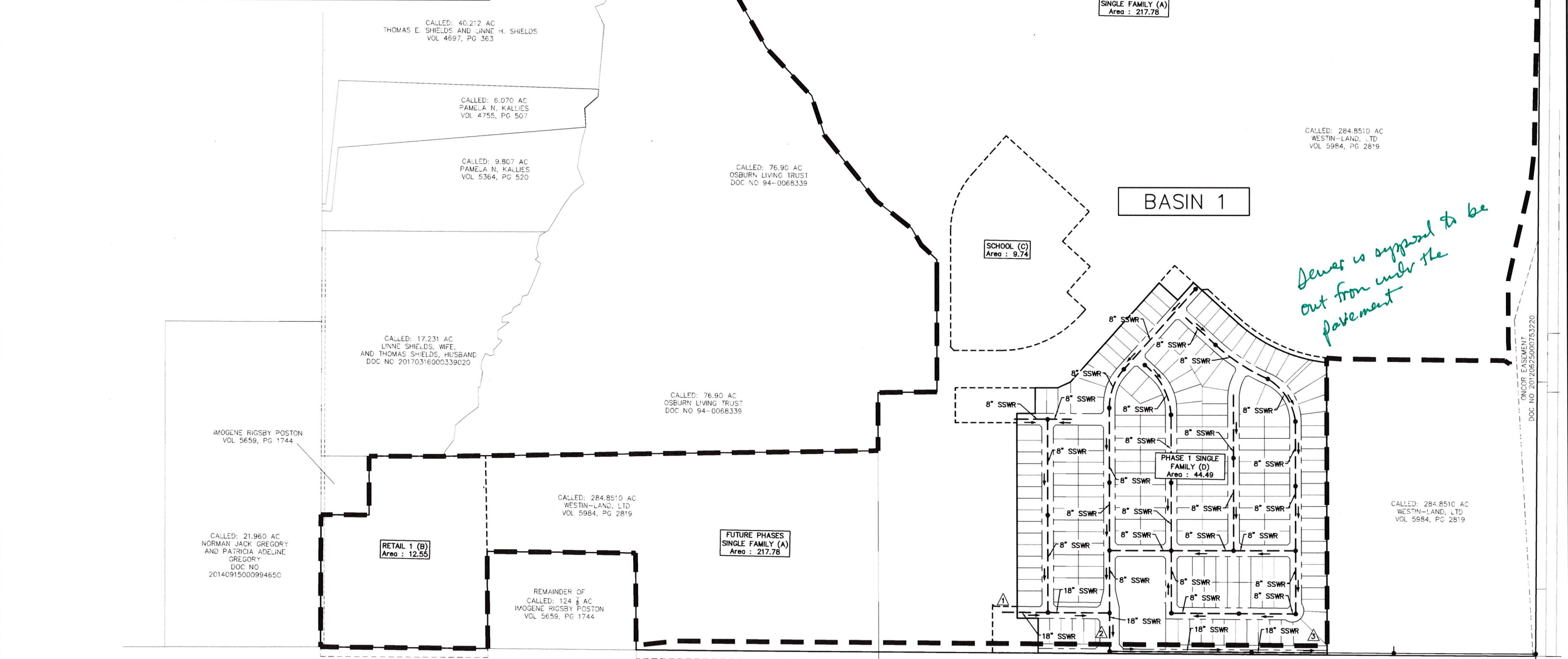
JBIPARTNERS

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TBPE No. F-438
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WATER PLAN	PROJECT NO.
SOUTH	HOE288
WESTON TRAILS, PHASE 1	SHEET NO.
City of Weston, Collin County, Texas	46

Flow Calculations - Basin 1																		
			Domestic Flow					Commercial Flow				School Flow						
Area No.	Area Description	Area Acres	Lot Count	Living Unit Equivalent (3.5 persons per unit)	Unit Flowrate GPD	Average Service Flow MGD	Peak Factor	Peak Flowrate MGD	Commercial Area Acres	Unit Equivalent (90 persons per acre)	Unit Flowrate GPD	Average Service Flow MGD	School Area Acres	Unit Equivalent	Unit Flowrate GPD	Average Service Flow MGD	Infiltration (650 GPD/Ac.) MGD	Total Flowrate MGD
A	FUTURE PHASES SINGLE FAMILY	217.78	1008	3528	100	0.3528	4.0	1.4112									0.1416	1.5528
B	RETAIL 1	12.55							12.55	1130	35	0.0396					0.0082	0.0477
C	SCHOOL	9.74											9.74	600	15	0.0090	0.0063	0.0153
D	PHASE 1 SINGLE FAMILY	44.49	225	788	100	0.0788	4.0	0.3152									0.0285	0.3441

Capacity Calculations - Basin 1						
Design Point	Contributing Area No.	Total Cumulative Flowrate MGD	Pipe Size inches	Pipe Slope ft/ft	Capacity MGD	Percent Full %
1	A,B,C	1.6158	18	0.0020	3.0362	53%
2	A,B,C,D	1.9599	18	0.0020	3.0362	65%
3	A,B,C,D	1.9599	18	0.0020	3.0362	65%



BENCHMARKS

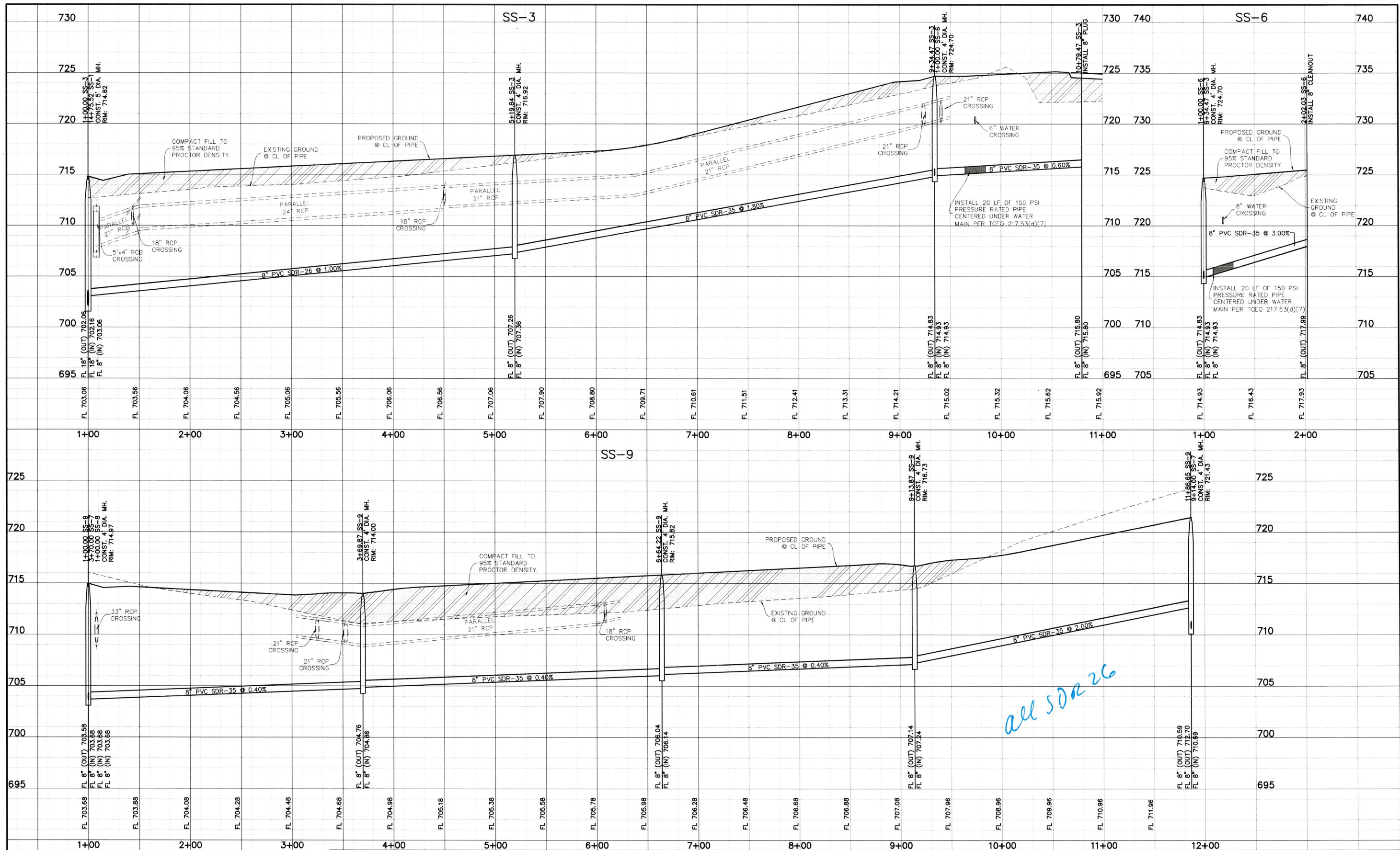
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2. "X" cut on headwall on the west side of F.M. 543, approximately 2,946' north of the centerline of County Road No. 206 (JBI#10) Elev. 733.37
3. "X" cut on headwall at the southeast corner of the intersection of F.M. 543 and Country Road No. 206 (JBI#12) Elev. 717.56

NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	SUBMITTALS	DATE

This document is released for the purpose of interim review under the authority of Joshua A. Luke, P.E. 103636 on 7/2/2019. It is not to be used for construction or permitting purposes.

JBIPARTNERS
2121 Midway Road
Suite 300
Carrollton, Texas 75006
972.248.7676
TBPE No. F-438
TBPLS No. 10076000

SANITARY SEWER BASIN AREA MAP		PROJECT NO.
WESTON TRAILS, PHASE 1		HOE288
City of Weston, Collin County, Texas		SHEET NO.
		47



- BENCHMARKS**
1. "X" cut on headwall on the east side of F.M. 543, approximately 62' south of the centerline of Rigby Lane (JBI#9). Elev. 745.65
 2. "X" cut on headwall on the west side of F.M. 543, approximately 2,946' north of the centerline of County Road No. 206 (JBI#10). Elev. 733.37
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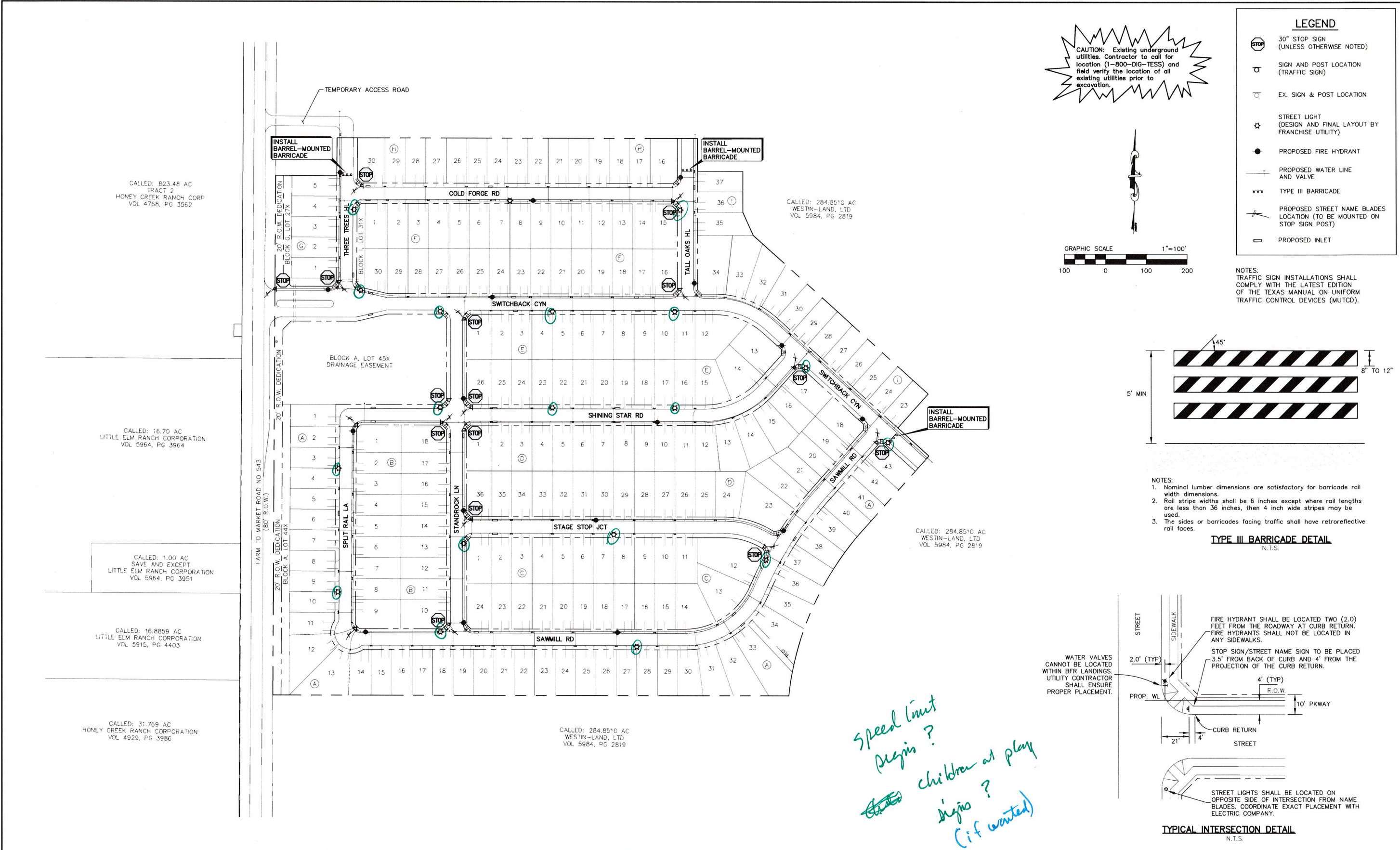
NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	SUBMITTALS	DATE

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JBIPARTNERS

2121 Midway Road
Suite 300
Carrollton, Texas 75006
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TBPE No. F-438
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SANITARY SEWER PROFILES		PROJECT NO.
SS-3, SS-6, & SS-9		HOE288
WESTON TRAILS, PHASE 1		SHEET NO.
City of Weston, Collin County, Texas		51



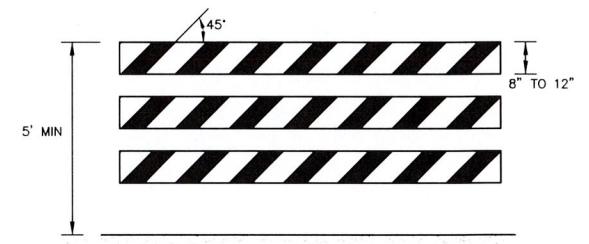
LEGEND

- 30" STOP SIGN (UNLESS OTHERWISE NOTED)
- SIGN AND POST LOCATION (TRAFFIC SIGN)
- EX. SIGN & POST LOCATION
- STREET LIGHT (DESIGN AND FINAL LAYOUT BY FRANCHISE UTILITY)
- PROPOSED FIRE HYDRANT
- PROPOSED WATER LINE AND VALVE
- TYPE III BARRICADE
- PROPOSED STREET NAME BLADES LOCATION (TO BE MOUNTED ON STOP SIGN POST)
- PROPOSED INLET

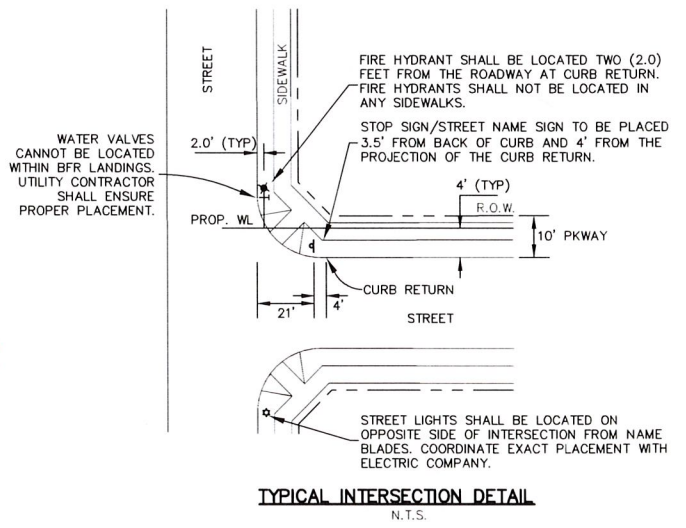
CAUTION: Existing underground utilities. Contractor to call for location (1-800-DIG-TESS) and field verify the location of all existing utilities prior to excavation.

GRAPHIC SCALE 1"=100'

100 0 100 200



- NOTES:**
- Nominal lumber dimensions are satisfactory for barricade rail width dimensions.
 - Rail stripe widths shall be 6 inches except where rail lengths are less than 36 inches, then 4 inch wide stripes may be used.
 - The sides or barricades facing traffic shall have retroreflective rail faces.
- TYPE III BARRICADE DETAIL**
N.T.S.



*Speed limit signs?
children at play signs?
(if wanted)*

BENCHMARKS

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SIGNAGE & LIGHTING PLAN

WESTON TRAILS, PHASE 1

City of Weston, Collin County, Texas

PROJECT NO. **HOE288**

SHEET NO. **54**

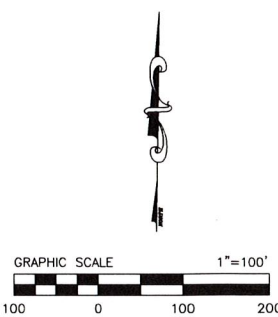
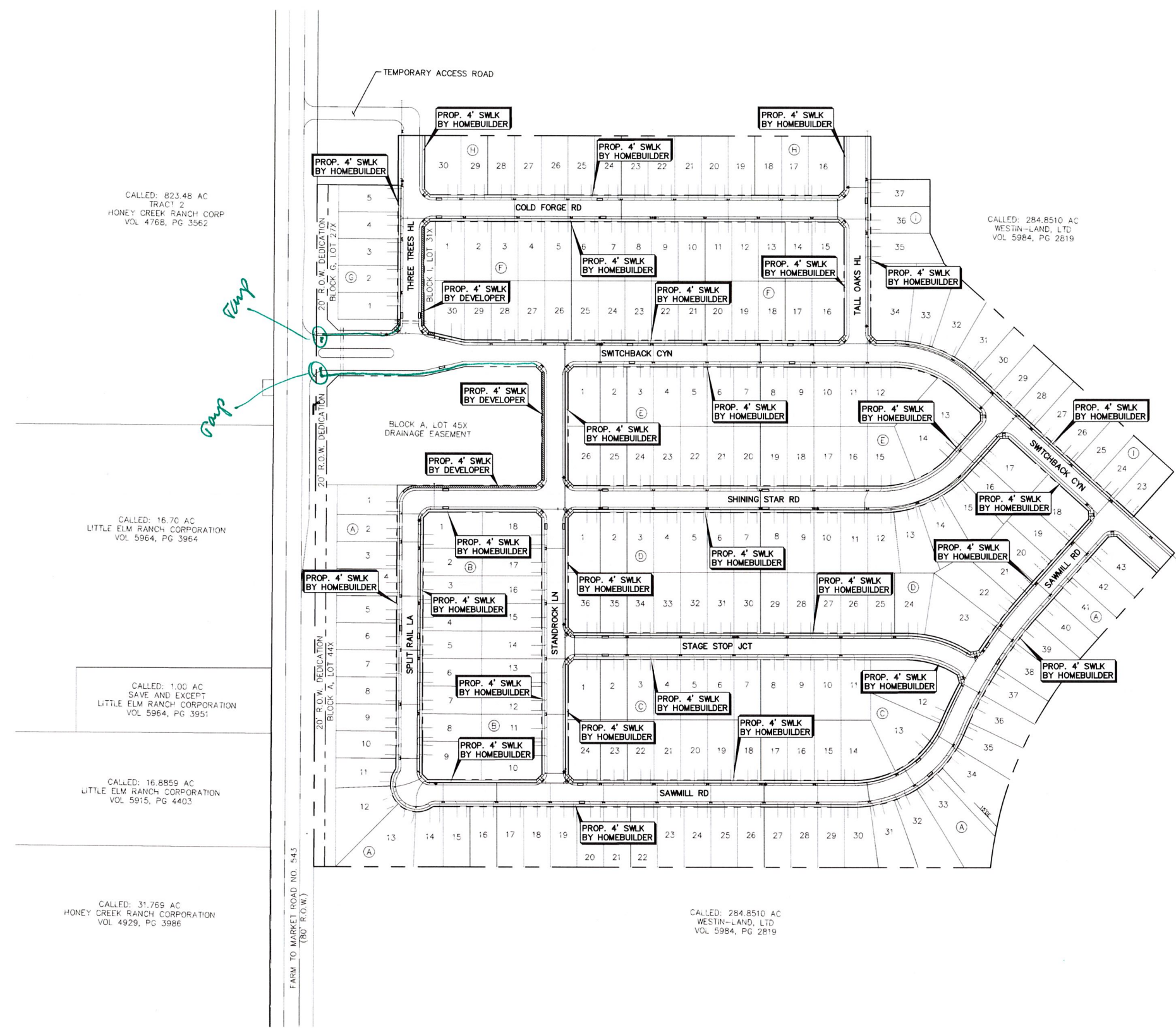
LEGEND

4' Sidewalk to be Constructed by Developer.

4' Sidewalk to be Constructed by Homebuilder.

Directional Curb Ramps to be Constructed by Developer.

CAUTION: Existing underground utilities. Contractor to call for location (1-800-DIG-TESS) and field verify the location of all existing utilities prior to excavation.



BENCHMARKS

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JBI PARTNERS

2121 Midway Road
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SIDEWALK PLAN		PROJECT NO.
WESTON TRAILS, PHASE 1		HOE288
City of Weston, Collin County, Texas		SHEET NO.
		55

Plotted by astunck Plg Date: 7/2/2019 11:26 AM
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